

PROPOSED RESIDENCE AT

6 GENS COURT

FOR

PARKER AND EMILY DALTON

ARCHITECTURAL SOLUTIONS, INC.



1415 S. Voss, Ste. 110-96 Houston, Texas 77057 Phone: (713)978-6989 Fax: (713)978-7085

SERED AROUSE SERVICES OF TELL

CT TITLE

A Custom Residence for PARKER & EMILY DALTON

PROJECT ADDRESS
6 Gens Court
Houston, Texas 77055

A STOLER | A STOLER |

A STOLER |

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SHEET TIT

COVERSHEET

NONE

JANUARY 25, 20

ABB	REVIATIONS	N(al	OTE: Clarify with Architect I abbreviations not listed.
AB. ABV.	ANCHOR BOLT ABOVE	I.B. I.D.	IRONING BOARD INSIDE DIAMETER
ADV. ADJ.	ADJUSTABLE	INSUL.	INSULATION
A.F.F.	ABOVE FINISHED FLOOR	IM INT.	ICE MAKER INTERIOR
AGGR. AL.	AGGREGATE ALUMINUM	IRC	INTERNATIONAL RESIDENT
ALT.	ALTERNATE		CODE
A.P.	ACCESS PANEL	JNT.	JOINT
APPROX. ARCH.	APPROXIMATE ARCH OR ARCHED	JST.	JOIST
4/V	AUDIO/VISUAL	KIT. K.S.	KITCHEN KNEE SPACE (DESK)
APPL.	APPLIANCE	KD.	KILN DRIED
BALC. B.I.	BALCONY BUILT-IN	LAM.	LAMINATE
BI	BIDET	LAV. LIN.	LAVATORY LINEN
BD. B.F.E.	BOARD BASE FLOOD ELEVATION	LT.	LIGHT
BLDG.	BUILDING	MAX.	MAXIMUM
BLDR.	BUILDER (GENERAL CONTRACTOR)	M.C.	MEDICINE CABINET
BLK	BLOCK	MECH.	MECHANICAL
BLK'G. BM.	BLOCKING BEAM	MEMB. MFR.	MEMBRANE MANUFACTURER
BOT.	ВОТТОМ	MIN.	MINIMUM
BTWN.	BETWEEN	MISC.	MISCELLANEOUS
3.W.	BOTH WAYS	M.O. MTL.	MASONRY OPENING METAL
C.J.	CONTROL JOINT CABINET	MUL.	MULLION
CAB. CLG.	CEILING	MW	MICROWAVE OVEN
CLKG.	CAULKING	N.I.C. NO.	NOT IN CONTRACT NUMBER
CLR.	CLEAR	NOM.	NOMINAL
C.M.U. C.O.	CONCRETE MASONRY UNIT CASED OPENING	N.T.S.	NOT TO SCALE
COL.	COLUMN	O.C.	ON CENTER
COMP.	COMPUTER	O.C. O.D.	OUTSIDE DIAMETER
CONC. CONN.	CONCRETE CONNECTION	OH.	OVERHEAD
CONSTR.	CONSTRUCTION	OPER. OPG.	OPERABLE OPENING
CONT. CPT	CONTINUOUS CARPET	OPG.	OPPOSITE
CT	COOKTOP		
	2075	PCT. P.L.	PRE-CAST PROPERTY LINE
D. DBL.	DRYER DOUBLE	P.LAM.	PLASTIC LAMINATE
DEG.	DEGREE	PLAS.	PLASTER
DET./DTL.	DETAIL	PLT. PLYW.	PLATE PLYWOOD
D.H. DIAG.	DOUBLE HUNG DIAGONAL	PR.	PAIR
DIA. ø	DIAMETER		
DISP. DISAP.	DISPOSAL DISAPPEARING	R. R.D.	RISER(S) ROOF DRAIN
DISAF.	DOWN	RE:	REFER TO
DO	DOUBLE OVEN	REF.	REFRIGERATOR
DR. DRS.	DOOR DOORS	REINF. REQ'D.	REINFORCED REQUIRED
DRS. DRWR.	DRAWER	RM	ROOM
D.S.	DISAPPEARING STAIR	R.O.	ROUGH OPENING
DW	DISHWASHER	R.S.	ROUGH SAWN
DWG. DSS	DRAWING DIGITAL SATELLITE SYSTEM	S.	SINK
DR. BM.	DROP BEAM	S & R S.C.	SHELF & ROD SOLID CORE
(=\	EVICTING	SCHED.	SCHEDULE
(E) EA.	EXISTING EACH	S.D.	SMOKE DETECTOR
E.J.	EXPANSION JOINT	SECT. S.F.	SECTION SQUARE FOOT
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	S.H.	SINGLE HUNG
ELEC.	ELECTRICAL	SHT.	SHEET
ELEV.	ELEVATION	SHLV. SHWR.	SHELVES SHOWER
	ENCLOSURE EQUAL	SIM.	SIMILAR
EQUIP.	EQUIPMENT	SPEC.	SPECIFICATION
E.W.	EACH WAY	SQ. S.S.	SQUARE STAINLESS STEEL
EXP. EXT.	EXPANSION EXTERIOR	STAGG.	STAGGERED
	LATERION	STD. STIFF	STANDARD STIFFENER
	FURR DOWN	STL.	STEEL
	FOUNDATION FINISH FLOOR	STRUC.	STRUCTURAL
F.F. FIN.	FINISH FLOOR FINISH	SUSP. SLP.	SUSPENDED SLOPE
FLR.	FLOOR	SYP	SOUTHERN YELLOW PINE
	FLUORESCENT		
	FLITCH PLATE FLUSH BEAM	T.D. T.C.	TRASH DRAWER TRASH COMPACTOR
	FLOOR DRAIN	TEMP.	TEMPERED
FND.	FOUNDATION	T & B	TOP AND BOTTOM
F.O.B. F.O.C.	FACE OF BRICK FACE OF CONCRETE	TER. T & G	TERRAZZO TONGUE & GROOVE
F.P.	FIREPLACE	THK.	THICK
FR.	FRENCH	T/	TOP OF
FRZR. F.S.	FREEZER FULL SIZE	TR TRANS.	TREAD TRANSOM
FT.	FOOT OR FEET	TYP.	TYPICAL
FTG.	FOOTING		
FURR.	FURRING	UBC	UNIFORM BUILDING CODE
GA. GALV.	GAUGE GALVANIZED	UCL U.C.	UNDER COUNTER LIGHTING UNDER COUNTER
GAR.	GARAGE	U.O.N.	UNLESS OTHERWISE NOTE
9.B.O.	GYPSUM BOARD OPENING	UCR	UNDER COUNTER
G.C. GFI	GENERAL CONTRACTOR GROUND FAULT		REFRIGERATOR
	CIRCUIT INTERRUPTER	VCT	VINYL COMPOSTION TILE
GL.	GLASS	VER	VERIFY
GR. GYP.	GRADE GYPSUM	VERT. VLV.	VERTICAL VALVE
	GYPSUM BOARD		
	HOSE BIBB	W W/	WASHING MACHINE WITH
H.C.	HOLLOW CORE	W.C.	WATER CLOSET
H/C HDWD.	HANDICAPPED HARDWOOD	WD.	WOOD
	HARDWARE HEAD	WDW. W.I.	WINDOW WROUGHT IRON
HD.		W/O	WITHOUT

WATERPROOF

WARMING DRAWER CENTERLINE

PROPERTY LINE

W.D.

GENERAL NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE

CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF $\,$ DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.

ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.

ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.

THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.

ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.

DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE.

UPON COMPLETION OF WORK THE CONTRACTOR SHALL WALK THROUGH WITH BUILDING OWNER AND COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.

ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY OWNER.

SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS REQUIRE 110V. CONNECTION TO HOUSE WIRING, IN ADDITION TO BATTERY BACKUP. ALL & CARBON MONOXIDE DETECTORS TO BE ACTIVATION INTERCONNECTED

ALL STUDS TO BE STUD GRADE FIR.

ALL WOOD BEAMS TO BE #2 KD SYP (U.O.N).

1-1/8" EMCM PLYWOOD SUBFLOOR WITH PANEL SPAN RATING OF 48/24" O.C.

ALL EXTERIOR WALLS AND MAIN PARTITIONS (LOAD BEARING) SHALL BE EFFECTIVELY BRACED AS SPECIFIED IN IRC SECTION R602.10.

YIELD STRENGTH OF STEEL TO BE MINIMUM 36 K.S.I.

PROVIDE 2-2X4 VERTICAL SUPPORT MIN. UNDER EACH END OF ALL STRUCTURAL BEAMS AND HEADERS GREATER THAN $5^{\rm t}$ -O $^{\rm ii}$.

SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY TO IRC TABLE R602.3(1).

ALL HEADER BEAMS TO BE 2-2X12 (#2) AT FIRST FLOOR. HEADERS AS

BEDROOM WINDOWS TO HAVE 5.7. SQUARE FEET NET FREE AREA WITH 20" WIDE AND 24" HIGH MINIMUM CLEAR OPENINGS, MAXIMUM 44" ABOVE FINISHED FLOOR.

STAIRWAY SHALL COMPLY WITH IRC SECTION R311.7

ALL GUARDRAILS TO BE 36" HIGH MIN. AND COMPLY W/ IRC SECTION R312. HANDRAILS TO BE 34" TO 38" ABOVE NOSE OF TREAD, COMPLY WITH IRC R311.7.8 AND SHALL BE CONTINUOUS FULL LENGTH OF STAIRS.

BALUSTERS SHALL BE SPACED ACCORDING TO IRC SECTION R312.1.3

HANDRAILS AND GUARDRAILS SHALL COMPLY W/ MINIMUM UNIFORM DISTRIBUTED LIVE LOADS SPECIFIED IN IRC TABLE R301.5.

WHEN GAS IS USED IN UTILITY ROOM PROVIDE COMBUSTION AND DRYING AIR (LOUVERED DOORS OR UNDERCUT DOORS).

UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURERS INSTALLATION INSTRUCTION OR APPROVED BY BUILDING OFFICIAL, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 10 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO.

ATTIC ACCESSES ARE PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT ONLY.

ALL GLASS AT TUBS AND SHOWERS TO BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH IRC SECTION R308.

SHOWER STALLS AND TUB WALLS TO BE FINISHED WITH NONABSORBENT SURFACE OVER HARDIE BACKER BOARD.

PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOM THROUGH NATURAL OR MECHANICAL MEANS AND COMPLY WITH IRC R303

PROVIDE SAFETY GLAZING IN ALL SPECIFIC HAZARDOUS LOCATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF IRC SECTION R308.

PROVIDE A SELF CLOSING TIGHT FITTING DOOR 1%" THICK OR A SELF CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION OF 20 MINUTES BETWEEN THE RESIDENCE AND GARAGE PER SECT 302.5 IRC 2021

ENERGY CODE COMPLIANCE

BUILDER SHALL COMPLY WITH THE ENERGY EFFICIENCY CHAPTER OF THE INTERNATIONAL RESIDENTIAL CODE (IRC). HOMES ARE REQUIRED TO HAVE THE ENERGY COMPONENTS OF THE BUILDING VERIFIED THROUGH ANALYSIS AND INCREMINED.

CALCULATIONS FOR THESE PLANS ARE BASED UPON THE FOLLOWING

COMPONENTS BEING USED:
16 SEER A/C W/ PROGRAMMABLE THERMOSTAT FOR EACH SYSTEM
90% AFUE FURNACE

CDX WALL SHEATHING (W UNBREACHED VAPOR BARRIER)
R-6 DUCTWORK
SOLID WOOD FRONT DOORS) W/ 24 SHGC AND .32 U-VALUE
WINDOWS YETERIOR DOORS W/ GLASS W/ .24 SHGC AND .32 U-VALUE
WINDOWS SHGC = .24
WINDOW U-VALUE = .32
WATER HEATERS ENERGY FACTOR = .83

ALL HOMES WILL BE REQUIRED TO BE INSPECTED FOR ALL OF THESE COMPONENTS AS A MINIMUM. IF DIFFERENT COMPONENTS ARE USED, THE RATING WILL NEED TO BE ADJUSTED, HOMES WILL REQUIRE AN INSPECTION PERFORMED BEFORE COVERED WITH SHEET ROCK AND INSPECTED AT THE FINAL STAGE, ALL HOMES ARE RATED WITH THE HVAC DUCT SYSTEM MAXIMUM LEAKAGE RATE OF 10% LEAKAGE TO THE OUTSIDE OF THE ENVELOPE AND INFILIRATION RATE OF .35 NACH (ASHRAE STANDARD).

CARY WEAVER IS A PERSON WHO PERFORMED THE ENERGY RATING OF THIS DESIGN. HE IS LICENSED BY THE STATE OF TEXAS AS AN ENERGY RATING PROVIDER AND CODE CERTIFIED IN RESIDENTIAL ENERGY EFFICIENCY. HE IS AVAILABLE TO PROVIDE THESE REQUIRED INSPECTIONS UPON THE BUILDER/OWNER'S REQUEST. ALL HOUSES ARE REQUIRED TO BE INSPECTED TO BE CODE COMPLIANT.

SHEET INDEX

COVER SHEET

GENERAL NOTES, ABBREVIATIONS, ETC. GENERAL G1.10

ARCHITECTURAL A0.10 SITE PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN Δ110 A1.20

A1.30 ROOF PLAN EXTERIOR ELEVATIONS A2.20 EXTERIOR ELEVATIONS BUILDING SECTIONS
INTERIOR ELEVATIONS

A3.10 FIRST FLOOR FLECTRICAL PLAN SECOND FLOOR ELECTRICAL PLAN

MISCELLANEOUS DETAILS

1415 S. Voss, Ste. 110-96 Houston, Texas 77057 Phone: (713)978-6989 (713)978-7085

PROJECT INFORMATION

PARKER & EMILY DALTON 3022 KEVIN LN HOUSTON, TX 77043 BUILDER:

ARCHITECTURAL SOLUTIONS, INC. 1415 S.VOSS # 110-96 HOUSTON, TX 77057 ARCHITECT

HOUSTON, TX (713) 978-6989

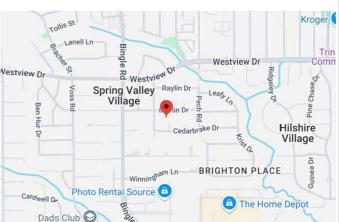
TEXAS DESIGN INTEREST, LLC 17920 HUFFMEISTER #320 CYPRESS, TX 77429 (832) 667-7615

A Custom Residence for:

PARKER & EMILY DALTON

VICINITY MAP

STRUCTURAL:

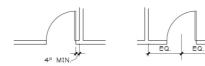


6 Gens Court Houston, Texas 77055

4.528 DRAWN B C.B.D. WTM FIRST FLOOR 2,345 S.F. 2,183 S.F. COVERED PATIO TOTAL NON LIVING AREA 1,002 S.F. TOTAL COVERED AREA 5,530 S.F.

DIMENSIONS

ALL DIMENSIONS ARE TO FACE OF FRAMING (U.O.N).



DOCUMENTS NOTICE

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GENERAL NOTES, ABBREVIATIONS. ETC.

NONE

JANUARY 25, 2025

G1.10

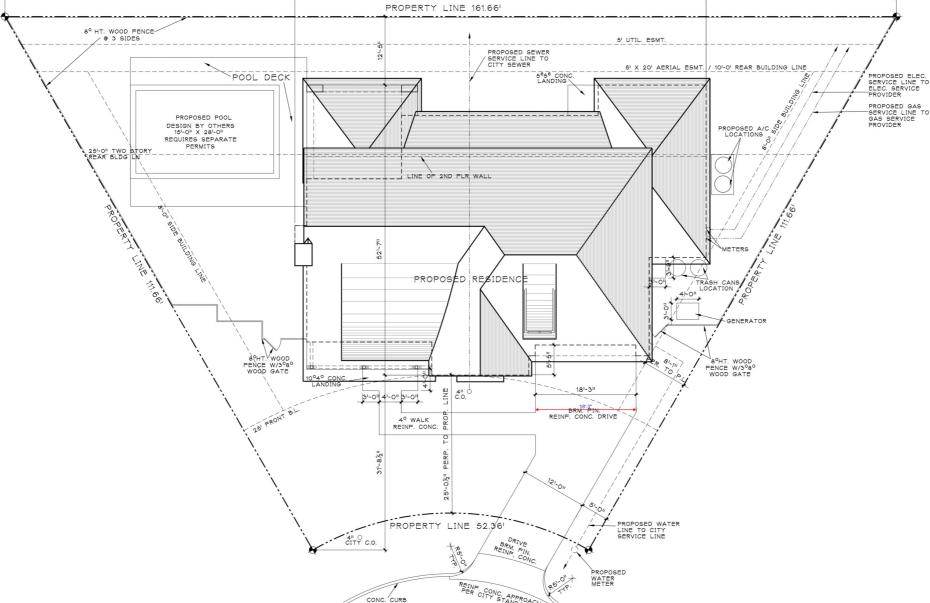
HVAC HEATING, VENTILATION AND AIR CONDITIONING C Architectural Solutions, Inc. 2024

H.M. HR. HT

HDR. BM. HEADER BEAM

HOUR

HOLLOW METAL



6 GENS COURT

52'-61/2"

LOT CALCULATIONS

341-611

LOT AREA	10,007 S.F.
IMPROVEMENTS	
FIRST FLOOR GARAGE & APRON & STO	2,345 558
FRONT PORCH	136
COVERED PATIO	308
DRIVEWAY	490
WALKS & EQUIP. PADS	221
POOL & POOL DECK	864
TOTAL IMPROVEMENTS	4,922 S.F
LOT COVERAGE	49.19 %

IMPROVEMENTS	
DRIVEWAY WALK	347 118
TOTAL IMPROVEMENTS	465 S.F.
LOT COVERAGE	29.40

LOT AREA BEHIND OF B.L.	8,370 S.F.
IMPROVEMENTS	
FIRST FLOOR GARAGE & APRON & STO	2,345 558
FRONT PORCH COVERED PATIO	136 308
DRIVEWAY	143
POOL & POOL DECK WALKS & EQUIP, PADS	864 73
TOTAL IMPROVEMENTS	4,427 S.F.
OT COVERAGE	50 00 °



NORTH LOT: 305

BLOCK: 20

SECTION: 4

SPRING OAKS

SUBDIVISION

ARCHITECTURAL SOLUTIONS, INC.



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01-25-25

A Custom Residence for: PARKER & EMILY DALTON

2001507 4000500

6 Gens Court Houston, Texas 77055

PLAN NUMBER
4,528

DHAWN BY
C.B.D.

WIM

AREA TABULATION

FIRST FLOOR
\$2,345 S.F.

SECOND FLOOR
\$2,183 S.F.

TOTAL LIVING AREA

4,528 S.F.

2 CAR GARAGE & APRON & STO.
\$58 S.F.

COVERED PATIO
\$08 S.F.

TOTAL NON LIVING AREA

1,002 S.F.

TOTAL COVERED AREA

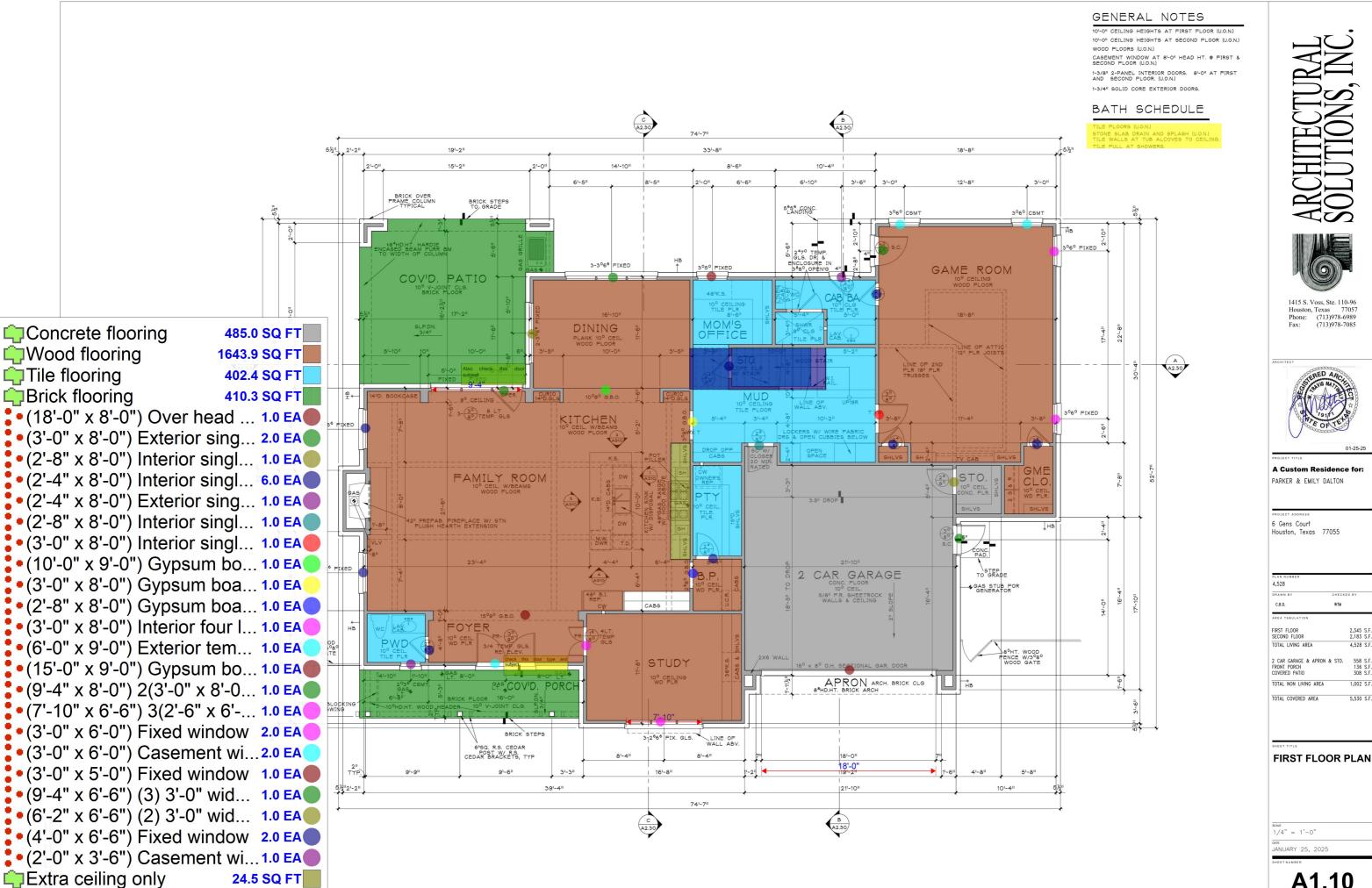
5,530 S.F.

SHEET TITLE

SITE PLAN

1/8" = 1'-0"

A0.10



Type X ceiling

59.9 SQ FT



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528	
AWN BY C	HECKED BY
C.B.D.	WTM
EA TABULATION	
RST FLOOR	2,345 S.F.
COND FLOOR	2,183 S.F.
TAL LIVING AREA	4,528 S.F.
CAR GARAGE & APRON &	STO. 558 S.F.
ONT PORCH	136 S.F.
OVERED PATIO	308 S.F.
TAL NON LIVING AREA	1,002 S.F.
TAL COVERED AREA	5,530 S.F.

A1.10



2X4'S @ 16" O.C.

10'-O" CEILING HEIGHTS AT SECOND

WINDOWS ARE AT 8'-O" HEAD HT. @ 2N

STAIR RAILS AND ALL GUARD RAILS TO COMPLY W/ TABLE R301.5 (& FOOTNOTE). DESIGN FOR MIN. 200 LB. LIVE LOAG NND SINGLE CONCENTRATED LOAD APPLIED IN ANY DIRECTION AT ANY COUNT ALONG THE TOP ATTIC ACCESSES ARE PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT ONLY AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL INTERCOMMINED DECK AREA EXCEED SOO SO, FT., ATTIC ACCESS PHALL BE A FULL DWN STAIRWAY HARDWARE, AND A SOULB LOAD CAPACITY MIN. PROVIDE A CLEAR AND UNOBSTRUCTED PASSAGEWAY MIN 30°HT 30°W. TO ANY APPLIANCE IN ATTIC PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORD W/ IRC CH.5. PROVIDE LEVEL SPACE 20°D. AND 30°W. A LONG ALL SIDES OF APPLIANCES WHERE ACCESS IS REQUL. CLEAR ACCESS OPENING DIMENSIONS SHALL BE







TITLE

A Custom Residence for: PARKER & EMILY DALTON

PROJECT ADDRESS
6 Gens Court
Houston, Texas 77055

PLAN NUMBER 4,528

RAWN BY CHECKED BY

C.B.D. WTM

REA TABULATION

RST FLOOR 2,345 S COND FLOOR 2,183 S OTAL LIVING AREA 4,528 S

CAR GARAGE & APRON & STO. 558 S (ONT PORCH 136 S OVERED PATIO 308 S UTAL NON LIVING AREA 1,002 S

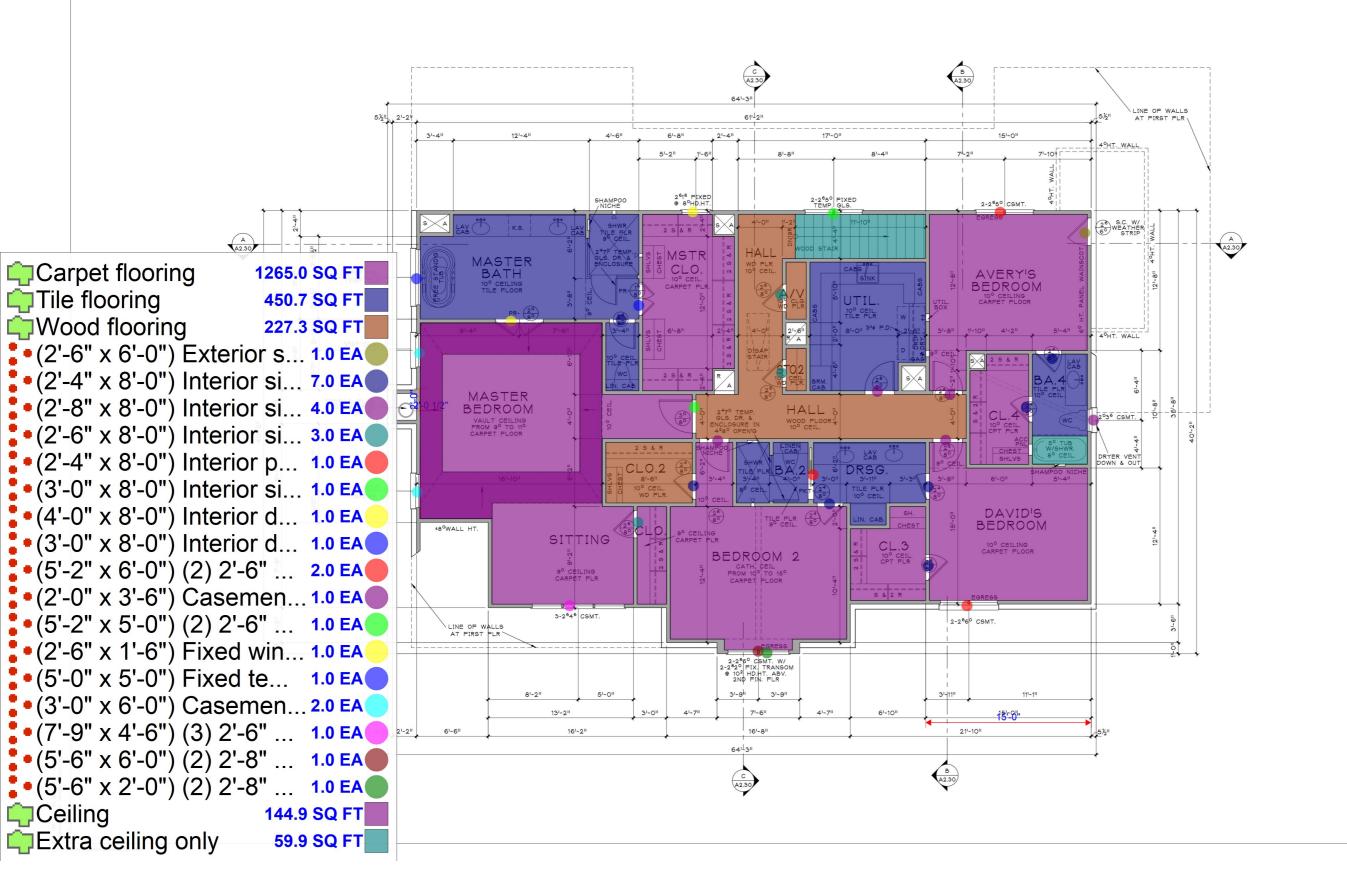
TOTAL COVERED AREA

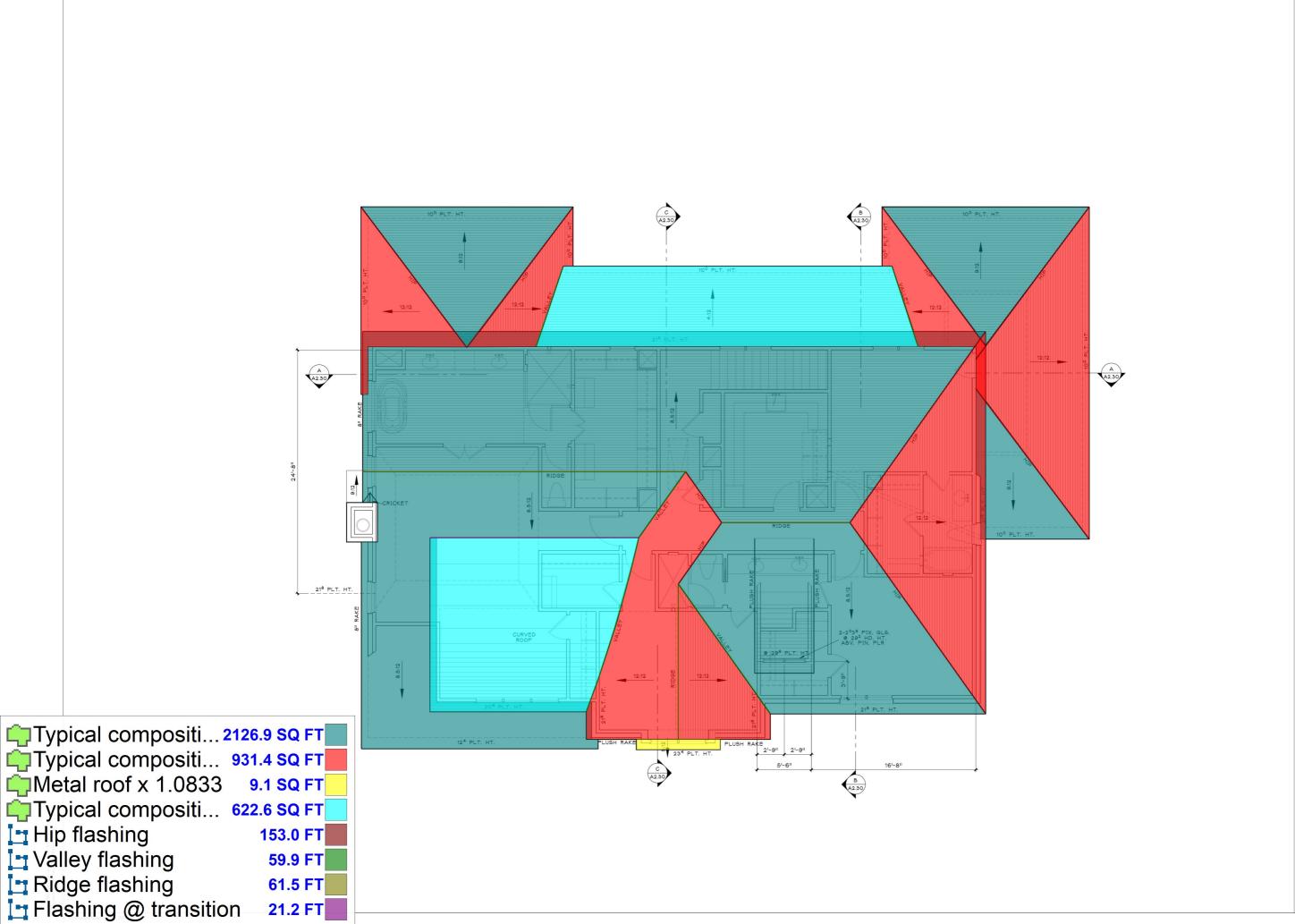
SECOND FLOOR

PLAN

1/4" = 1'-0"DATE

A1.20





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CT TITLE

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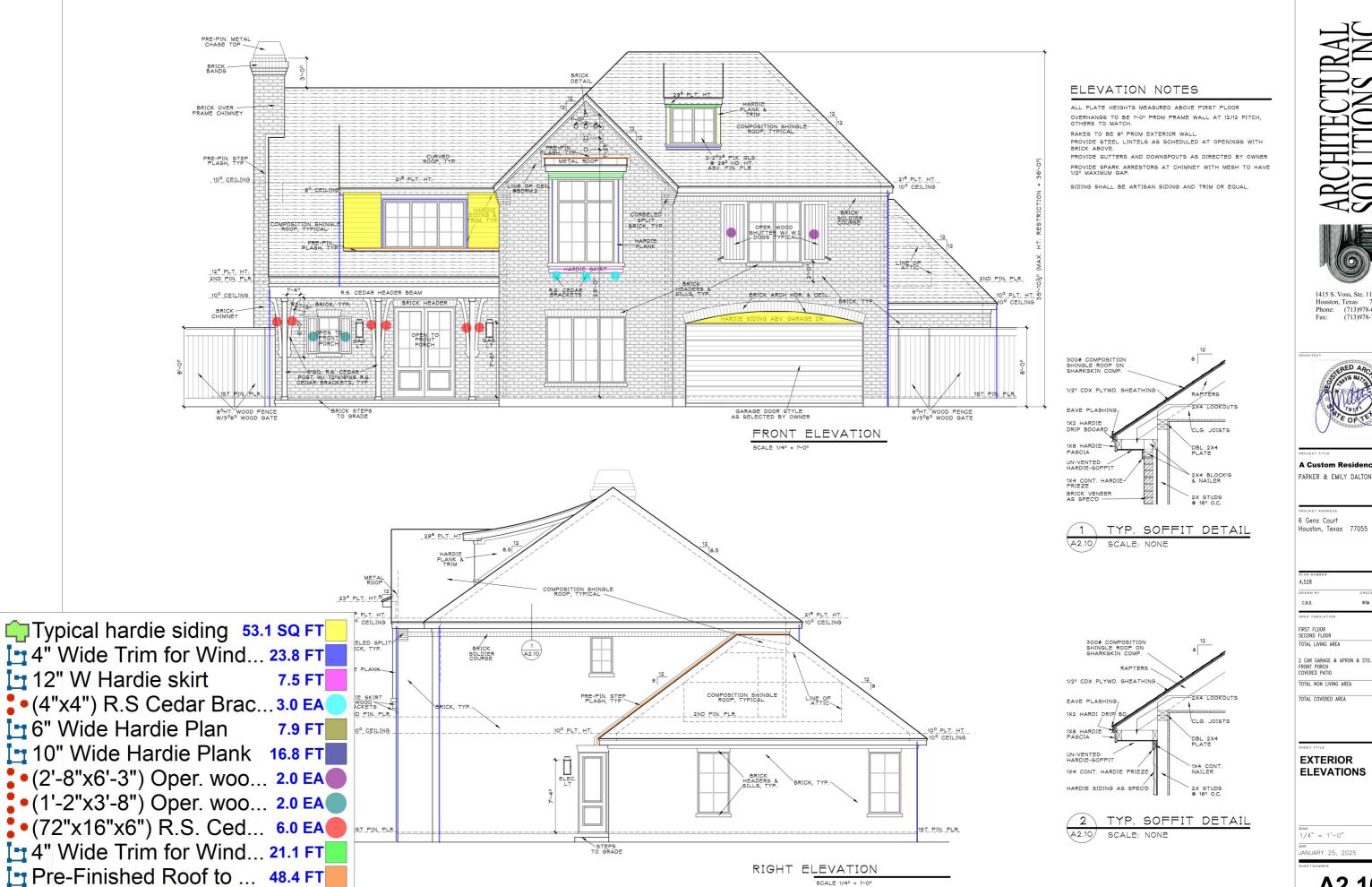
PLAN NUMBER			
4,528			
DRAWN BY	CHECKE	D BY	
C.B.D.	WTM		
AREA TABULATION			
FIRST FLOOR		2,345	S.F.
SECOND FLOOR		2,183	S.F.
TOTAL LIVING AREA		4,528	S.F.
2 CAR GARAGE & APRON	& STO.	558	S.F.
FRONT PORCH			S.F.
COVERED PATIO		308	S.F.
TOTAL NON LIVING AREA		1,002	S.F.
TOTAL COVERED AREA		5,530	S.F.

ROOF PLAN

.....

1/4" = 1'-0"

A1.30



Downspout

108.1 FT

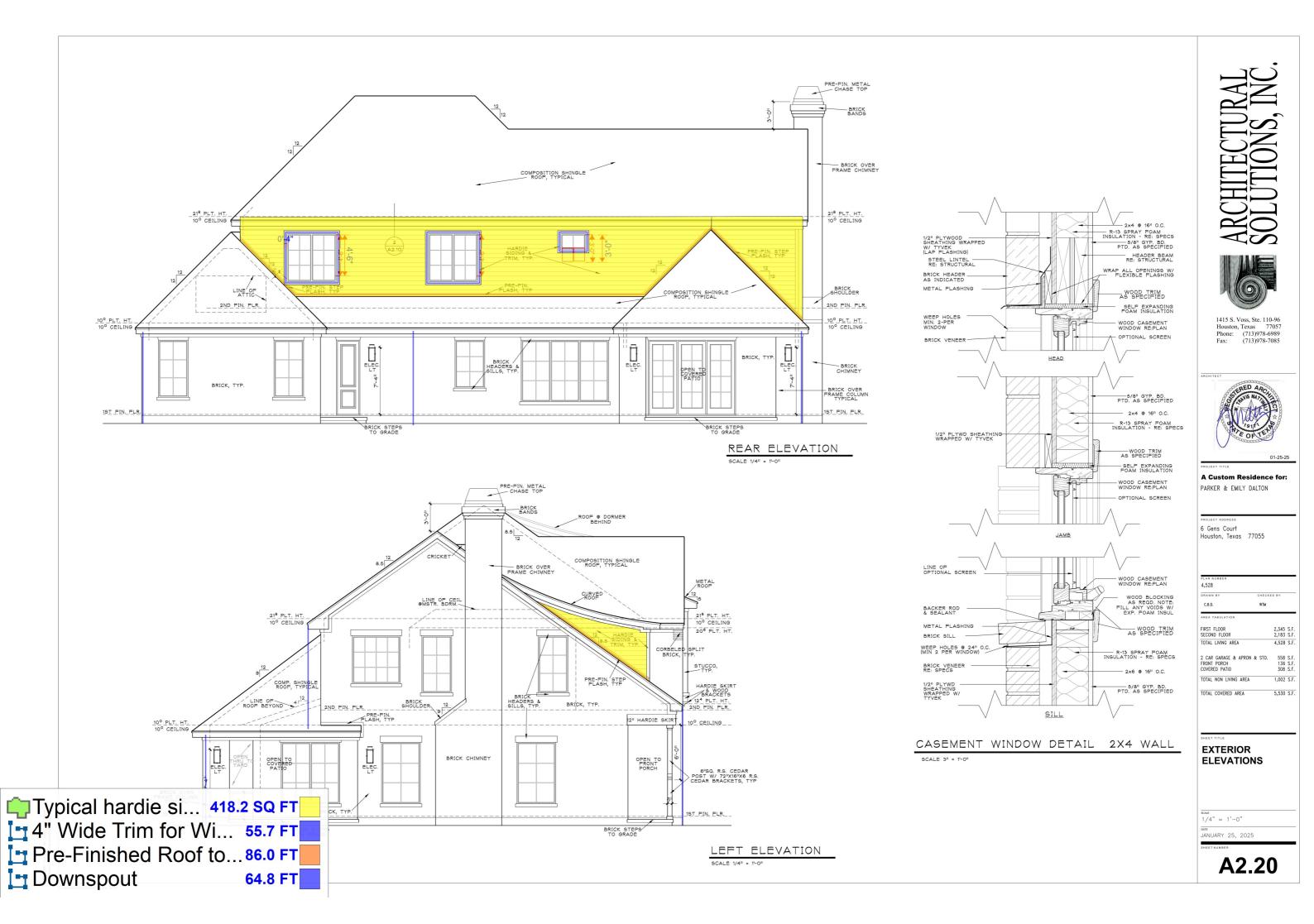


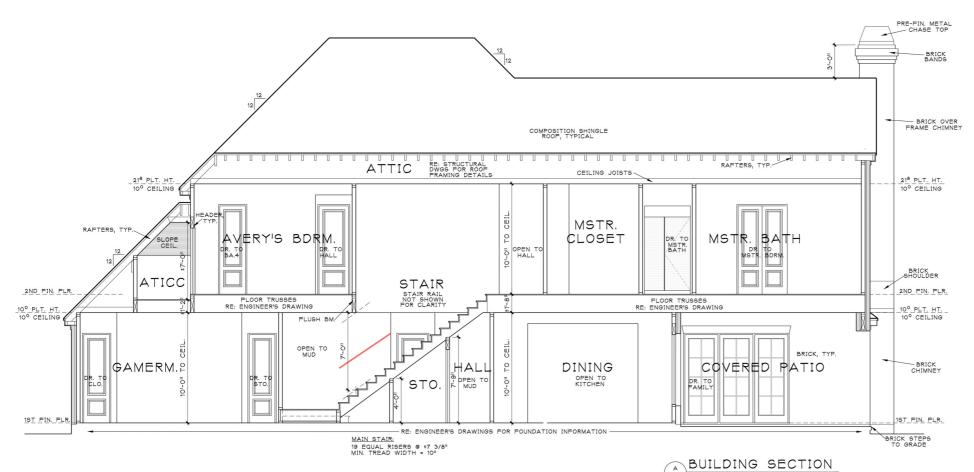
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ELEVATIONS

A2.10





GENERAL NOTES:

REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING COMPONENTS, DIRECTIONS AND SIZES, AND FOR ALL FOUNDATION INFORMATION. ALL LOAD BEARING STUDS TO BE 16" O.C.

BUILDING SECTION

SCALE 1/4" = 1'-0"

ALL EXTERIOR WALLS AND MAIN CROSS-STUD PARTITIONS SHALL BE EFFECTIVELY BRACED AS SPECIFIED IN IRC SECTION R602.10.

PURLIN BRACES SHALL BE 45 DEGREES OR GREATER AND SHALL NOT EXCEED 8' IN LENGTH WITHOUT LATERAL SUPPORT OR STIFFNER.

ATTIC ACCESSES ARE PROVIDED ON PLAN TO SERVICE MECHANICAL EQUIPMENT AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL THE COMBINED DECKED AREAS EXCEED SOO SQUARE FEET. ATTIC ACCESS SHALL BE A PULL DOWN STAIRWAY W/ CLEAR OPING OF 22" MIN. BETWEEN HARDWARE, AND A 350-6 LOAD CAPACITY MIN. PROVIDE A CLEAR AND UNDBSTRUCTED PASSAGEWAY MIN. 30" HIGH AND 30" W. TO ANY APPLIANCE IN ATTIC. PASSAGEWAY MIN. 30" HIGH AND 30" W. TO ANY APPLIANCE IN ATTIC. PASSAGEWAY MIN. LAWE CONTINUOUS SOLID FLOORING IN ACCORD W/ IRC CHAPTER S. PROVIDE LEVEL SPACE 30" DET AND 30" W. ALLONG ALL SIDES OF APPLIANCE WHERE ACCESS IS REQU. CLEAR ACCESS OPING DIMENSIONS SHALL BE 30" 54" MIN. WHERE SUC DIMS ARE LARSE ENOUGH TO ALLOW REMOVAU OF LARSEST APPLIANCE.



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4.528 C.B.D. WTM

FIRST FLOOR SECOND FLOOR 2,345 S.F. 2,183 S.F.

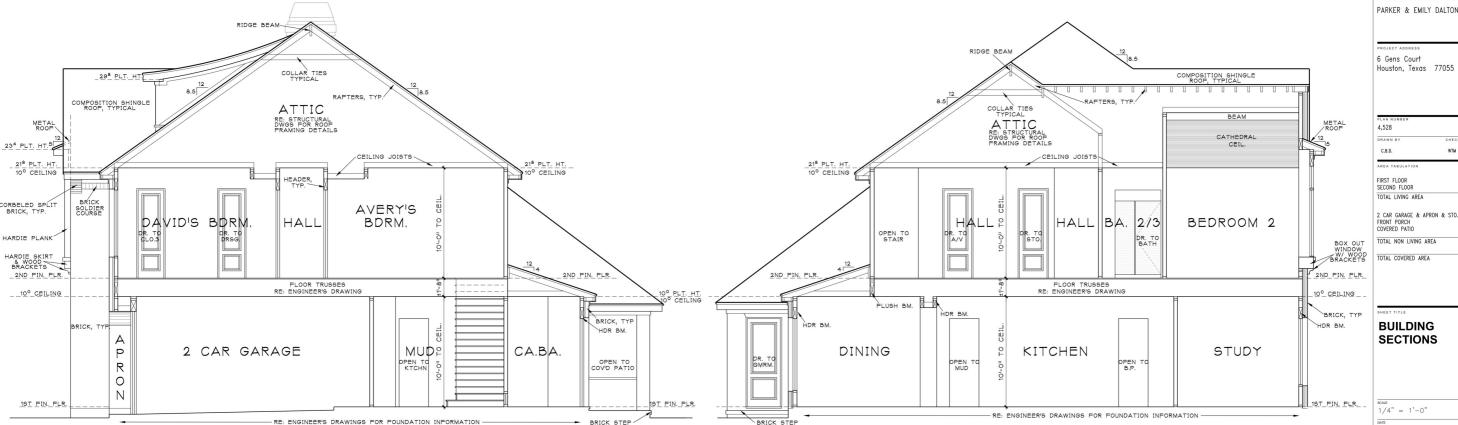
2 CAR GARAGE & APRON & STO. FRONT PORCH COVERED PATIO TOTAL NON LIVING AREA 1,002 S.F. TOTAL COVERED AREA 5,530 S.F.

BUILDING SECTIONS

1/4" = 1'-0"

A2.30

A BUILDING

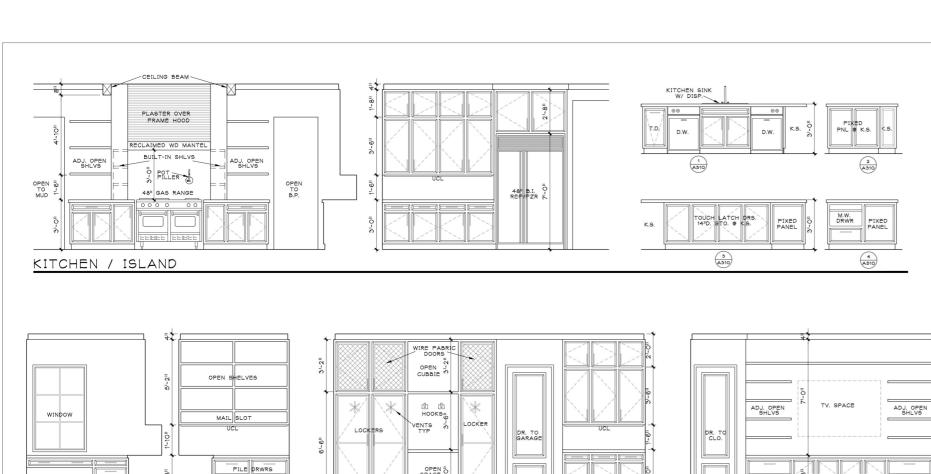


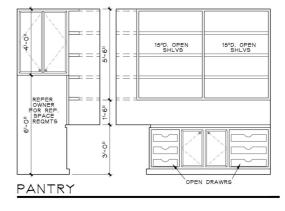
5.6 FT

La Rail

BUILDING SECTION

SCALE 1/4P





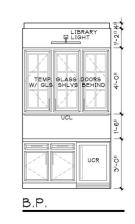
ADJ. OPEN SHLVS ADJ. OPEN SHLVS

GME RM. CLOSET

GENERAL NOTES:

ALL SHELVES WITHIN CABINETS AND CASEWORK TO BE ADJUSTABLE. PROVIDE GLASS SHELVES [MIN. 1/2*] TEMF. GL.] BEHIND ALL GLASS DOORS. REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHTING ETC. INVOLVING CABINETRY.

UNLESS OTHERWISE NOTED, ALL CABINETS TO BE PAINT GRADE W/ STONE SLAB COUNTERTOPS AND BACKSPLASHES. RE: SPECIFICATIONS FOR ADD'L INFORMATION.



OPEN



1415 S. Voss, Ste. 110-96 Houston, Texas 77057 Phone: (713)978-6989 Fax: (713)978-7085



CT TITLE

A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS
6 Gens Court
Houston, Texas 77055

PLAN NUMBER
4,528
DRAWN BY CHECKED BY

C.B.D. WTM

AREA TABULATION

FIRST FLOOR 2,345 S.F.
SECOND FLOOR 2,183 S.F.

TOTAL LIVING AREA

2 CAR GARAGE & APRON & STO.
FRONT PORCH
COVERED PATIO

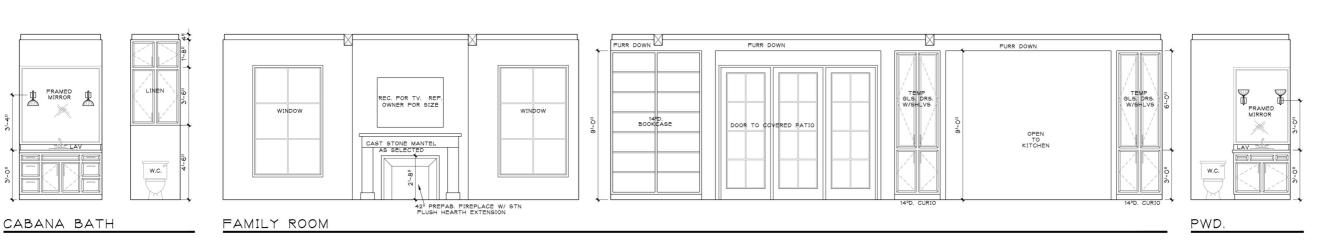
1,002 S.F. 5,530 S.F.

TOTAL NON LIVING AREA
TOTAL COVERED AREA

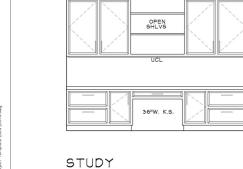
INTERIOR ELEVATIONS

3/8" = 1'-0"

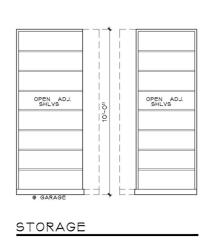
A3.10



GAMEROOM



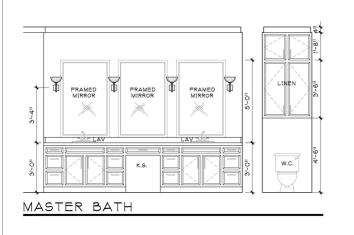
MOM'S OFFICE

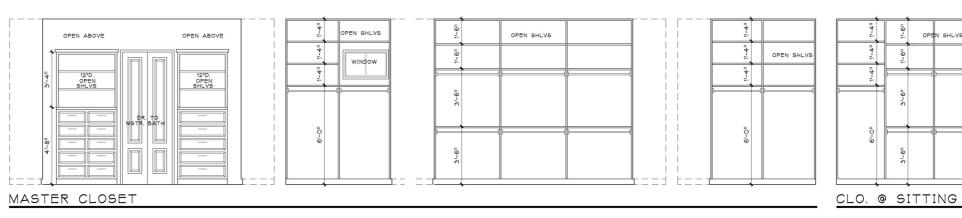


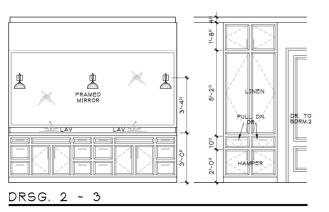
MUD



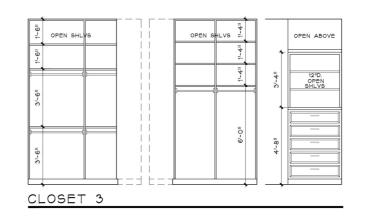
å: © Architectural Solutions, Inc. 2024

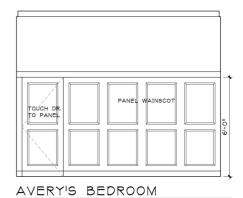


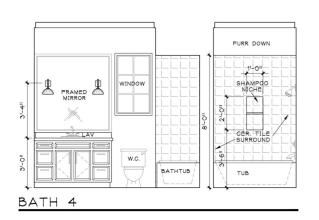


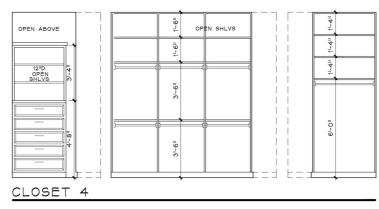


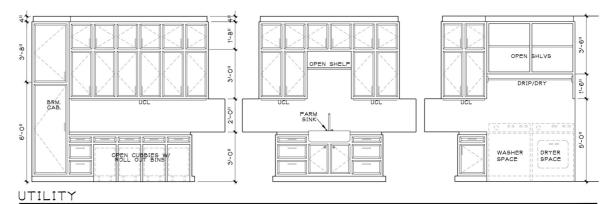


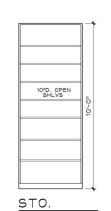


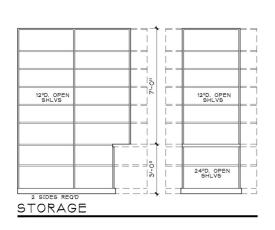


















O1-2

A Custom Residence for: PARKER & EMILY DALTON

PROJECT ADDRESS

6 Gens Court
Houston, Texas 77055

PLAN NUMBER
4,528

DRAWN BY CHECKED BY

C.B.D. WTM

AREA TABULATION

FIRST FLOOR 2,345 S.F.
SECOND FLOOR 2,183 S.F.
TOTAL LIVING AREA 4,528 S.F.
2 CAR GARAGE & APRON & STO. 558 S.F.
FRONT PORCH 136 S.F.
COVERED PATIO 308 S.F.
TOTAL NON LIVING AREA 1,002 S.F.
TOTAL COVERED AREA 5,530 S.F.

ET TITLE

INTERIOR ELEVATIONS

3/8" = 1'-0"

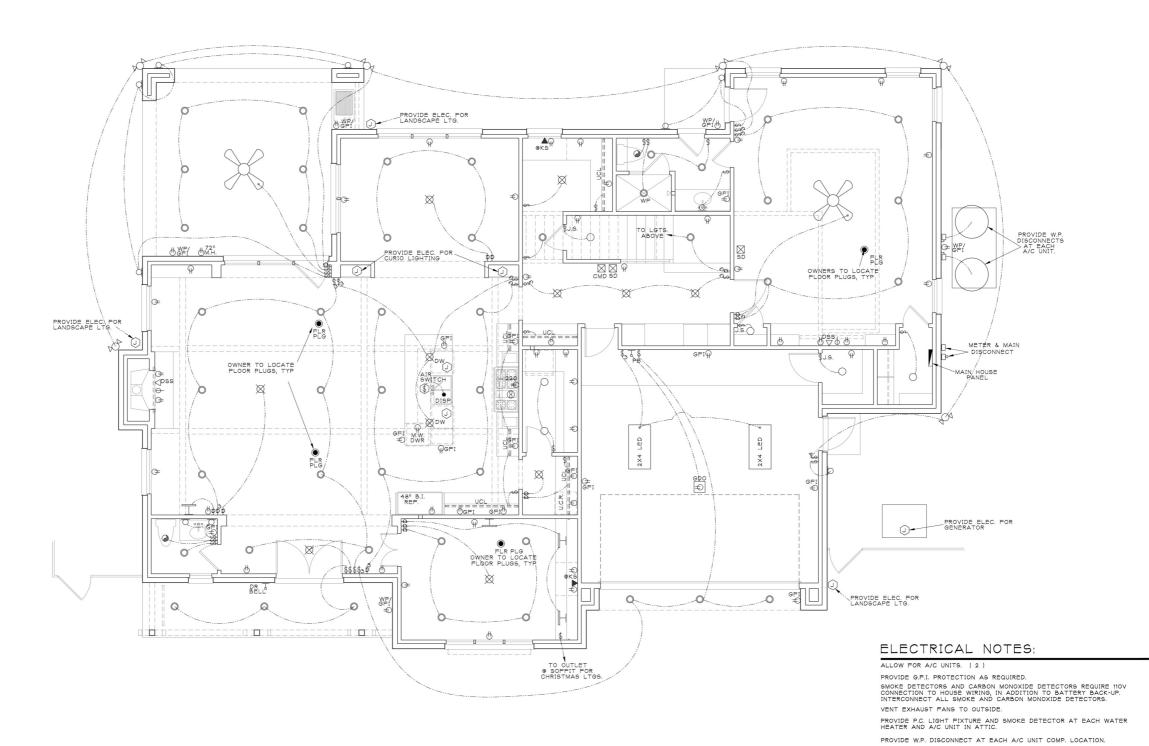
DATE

JANUARY 25, 2025

A3.20

ELECTRICAL LEGEND

Ф	110 VOLT DUPLEX RECEPTACLE	ф	TELEVISION ANTENNA	CMD	CARBON MONOXIDE DETECTOR	•	THERMOSTAT	1X4 LED •	1X4 SURFACE MOUN	TED LED LIGHT	
wp d	WATERPROOF RECEPTACLE	(JUNCTION BOX	CH	CHIMES	404	FLOOD LIGHTS (ON PHOTOCELLS)	2X4 LED 。	OVA CUREACE MOUN	TED LED LIGHT	
сге Ф	110 VOLT IN CLG.	▼	TELEPHONE OUTLET	0	CEILING MOUNTED LIGHT FIXTURE	9	EXHAUST FAN	2 2 2 2 2 2	2X4 SURFACE MOUNTED LED LIGHT		
GFI 🖰	110 VOLT W/ GROUND FAULT INTERRUPTER	\$	SINGLE POLE SWITCH	0	RECESSED CAN LIGHT	•	EXHAUST FAN W/LIGHT	UCL	UNDER CABINET LIC	ЭНТ	
•	110 VOLT 1/2 HOT	\$3	THREE WAY SWITCH	WP 🔘	WATERPROOF RECESSED CAN LIGHT	00	EXHAUST FAN W/HEAT LAMP & LT.				
#	110 VOLT QUAD RECEPTACLE	\$4	FOUR WAY SWITCH	×	HANGING FIXTURE	8	COOKTOP EXHAUST HOOD				CEILING FAN
FLR	110 VOLT DUPLEX IN FLOOR	ф	DIMMER SWITCH	T	LIBRARY LIGHT	DISP. •	GARBAGE DISPOSAL		CEILING FAN		W/ LIGHT KIT
⊕ 220	220 VOLT RECEPTACLE	T PB	PUSH BUTTON	•	RECESSED EYEBALL SPOT LIGHT	(9)	SPEAKER				
pss⊳	DIGITAL SATELLITE SYSTEM	SD	SMOKE DETECTOR	۵	WALL MOUNTED LIGHT FIXTURE	(⊋ GDO	GARAGE DOOR OPENER				



ARCHITECTURAL SOLUTIONS, INC



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CT TITLE

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PROJECT ADDRESS

6 Gens Court
Houston, Texas 77055

4,528		
DRAWN BY CHECK	ED BY	
C.B.D. WTM		
AREA TABULATION		
FIRST FLOOR	2,345	S.F.
SECOND FLOOR	2,183	S.F.
TOTAL LIVING AREA	4,528	S.F.
2 CAR GARAGE & APRON & STO.	558	S.F.
FRONT PORCH		S.F.
COVERED PATIO	308	S.F.
TOTAL NON LIVING AREA	1,002	S.F.
TOTAL COVERED AREA	5 530	9.5

HEET TITLE

FIRST FLOOR ELECTRICAL PLAN

scale 1/4" = 1'-0"

OWNERS TO LOCATE ALL PHONE JACKS, T.V. JACKS AND FLOOR PLUGS.

ALL OUTLETS IN BEDROOMS TO BE ARC FAULT PROTECTED AND BE ON SEPARATE CIRCUIT FROM CEILING FANS / OVERHEAD LIGHTING CIRCUIT.

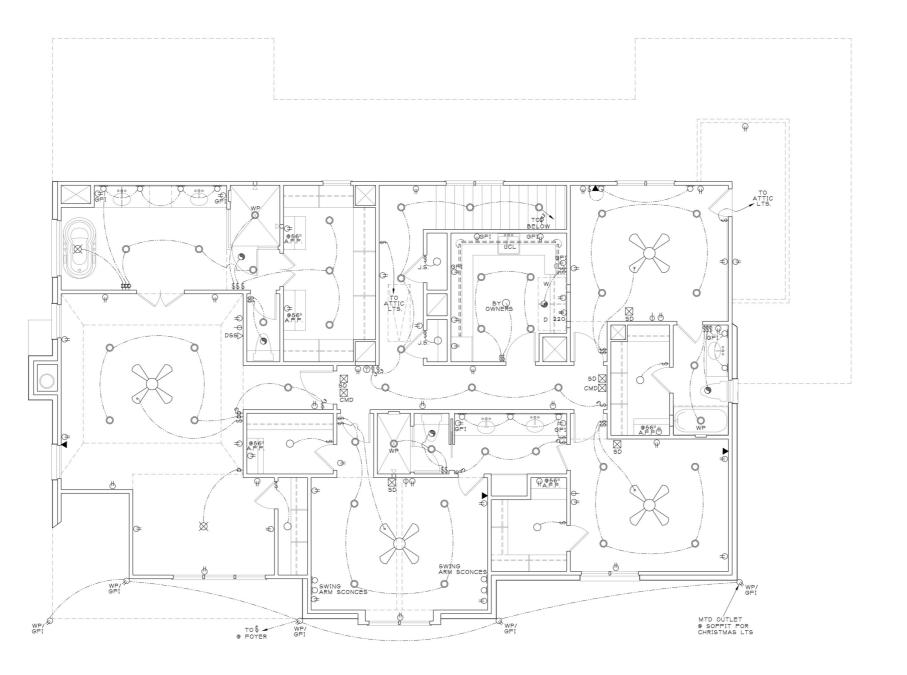
MOUNT ALL DUPLEX RECEPTACLES THROUGHOUT HOUSE HORIZONTALLY IN BASEBOARD.

ALL EXTERIOR LIGHTING TO COMPLY WITH CITY ORDINANCES
ALL ELECTRICAL OUTLETS AT KITCHEN TO COMPLY WITH NEC 2014.

ALLOW FOR FUTURE POOL AND REAR YARD LIGHTING.

JANUARY 25, 2025

A4.10



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PROJECT TITLE

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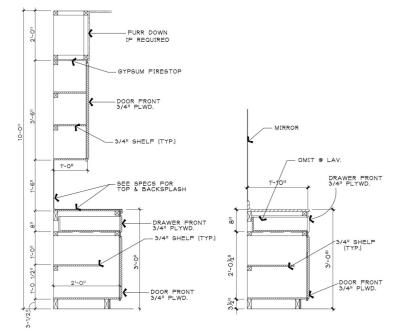
SHEET T

SECOND FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

ANUARY 25, 202

A4.20



STAIR RAIL BALUSTERS TO COMPLY WITH — IRC 2021 R312.1 NOTE: HANDRAILS SHALL BE CONTINOUUS THE FULL LENGTH OF STARS AND SHALL NOT EXTEND LESS THAN 6" BEYOND TOP AND BOTTOM RISERS AND SHALL TERMINATE IN A NEWELL POST OR SAFETY TERMINAL. HANDRAIL 4"ø SPHERE 1-1/4" 10" MIN. SCALE: 3" = 1'-0" PINE RIGERS HARDWOOD TREADS 1 1/4" BULLNOSE-EDGE - 2 X 12 #2 SYP STRINGERS 1- IN CENTER, 1- EA. SIDE 5/8" FIRECODE SHT. RK. (TYPE X) TREAD AND RISER DETAIL

SCALE: 3/4" = 1-0"

GENERAL FRAMING NOTES

HIP, VALLEY, AND RIDGE SHALL ALWAYS BE 12" DEEPER THAN RAFTERS.

PRONTO AND LOISTS AT 18P OF PRONTO THE WISTERN RIDGE SHALL ALWAYS BE 12" DEEPER NIDGE SHOWN AND LOISTS AT 18" O.C. UNLESS OTHERWISE NOTED.

DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS BELOW.

PROVIDE CROSSBRIDGING AT 8"-0" O.C. ON ALL 2X12 JOISTS.

PROVIDE ANAL TIEST. ALL PLATES WHERE JOISTS ARE PROVIDE 22" ANAL THE PLATES WHERE JOISTS ARE PROVIDE 22" ANAL THE PLATES WHERE JOISTS ARE PROVIDE 22" ANAL STRUMM MOISTURE CONTENT AT TIME OF INSTALLATION.

STUD WALLE SCACEDING 10"-0" SHALL HAVE A 19X MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION.

ROOF FRAMING: MAXIMUM UNSUPPORTED SPAN FOR RAFTERS SHALL BE ALL SCACEDING 10"-0" SHALL HAVE A 19X MAXIMUM CONTENT OF THE PROVIDE SPAN FOR RAFTERS CONTENT OF THE PROVIDE SPAN FOR RAFTER SPAN WEIGHT OF THE PROVIDE SPAN FOR RAFTER CONTENT OF

HIPS, AND INTERSECTIONS WHERE APPLICABLE. PROVIDE LEAD FOR PIPES PROJECTING THROUGH ROOF WITH FLANGE EXTENDED 8" BEYOND SLEEVE.

G- DE TOND SIEEVE. ALL BEAM AND HEADER MATERIAL SHALL BE #2 KD19 SYP. ALL RAFTER AND JOIST MATERIAL SHALL BE #2 KD19 SYP.

ALL STEEL SHALL CONFORM TO ASTM A-36. STEEL ANGLE LINTEL SCHEDULE (TO SUPPORT BRICK) IS AS FOLLOWS:

ALL STEEL SHALL CONFORM TO ASTM A-36. STEEL ANGLE LINTEL SCHEDULE ITO SUPPORT BRICK) IS AS FOLLOWS:

MAX. SPAN

MIN. SIZE

41-01

13 1/2 X 3 1/2 X 5/16

61-01

14 - X 3 1/2 X 5/16

61-01

14 - X 3 1/2 X 5/16

61-07

15 - X 1/2 X 3/8

81-07

16 - X 3 1/2 X 3/8

81-07

16 - X 3 1/2 X 3/8

81-07

17 - X 1/2 X 3/8

81-07

18 - X 1/2 X 3/8

81-07

19 - X 1/2 X 3/8

81-07

10 - X 1/2 X 3/8

10 - X

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A Custom Residence for: PARKER & EMILY DALTON

6 Gens Court Houston, Texas 77055

4.528 C.B.D. WTM FIRST FLOOR SECOND FLOOR 2,345 S.F. 2,183 S.F. TOTAL LIVING AREA 2 CAR GARAGE & APRON & STO. FRONT PORCH COVERED PATIO TOTAL NON LIVING AREA 1,002 S.F.

5,530 S.F.

TOTAL COVERED AREA

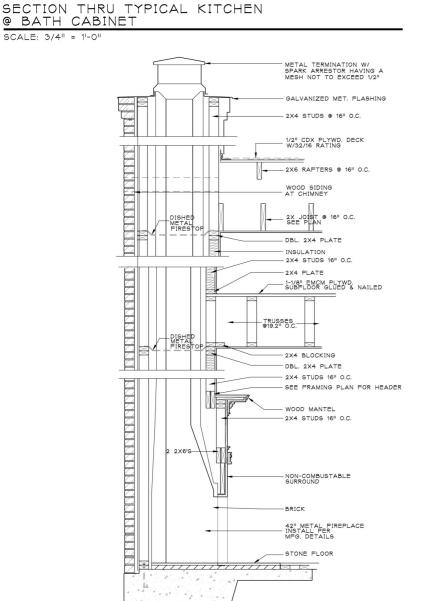
MISCELLANEOUS DETAILS

3/4" = 1'-0" JANUARY 25, 2025

TYPICAL SECTION

SCALE: 3/4" = 1-0"

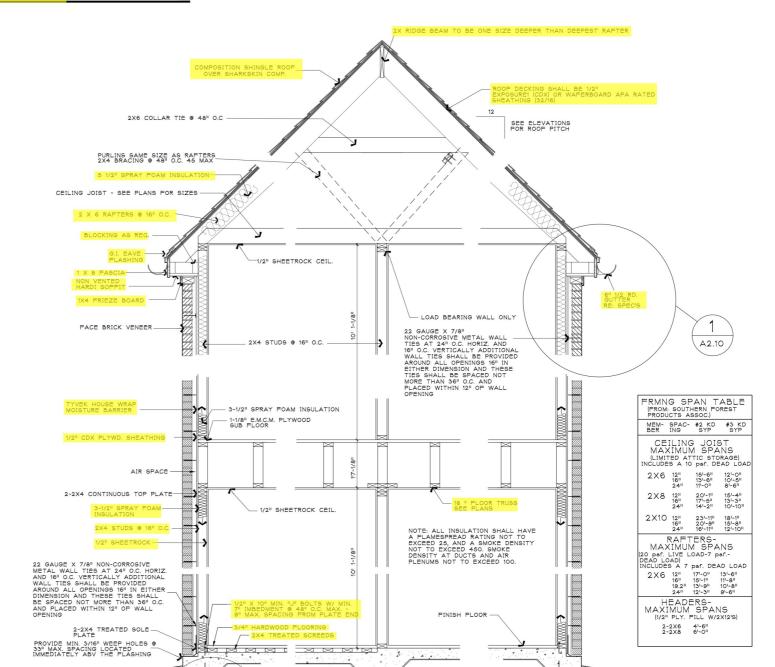
A5.10



TYPICAL SECTION-

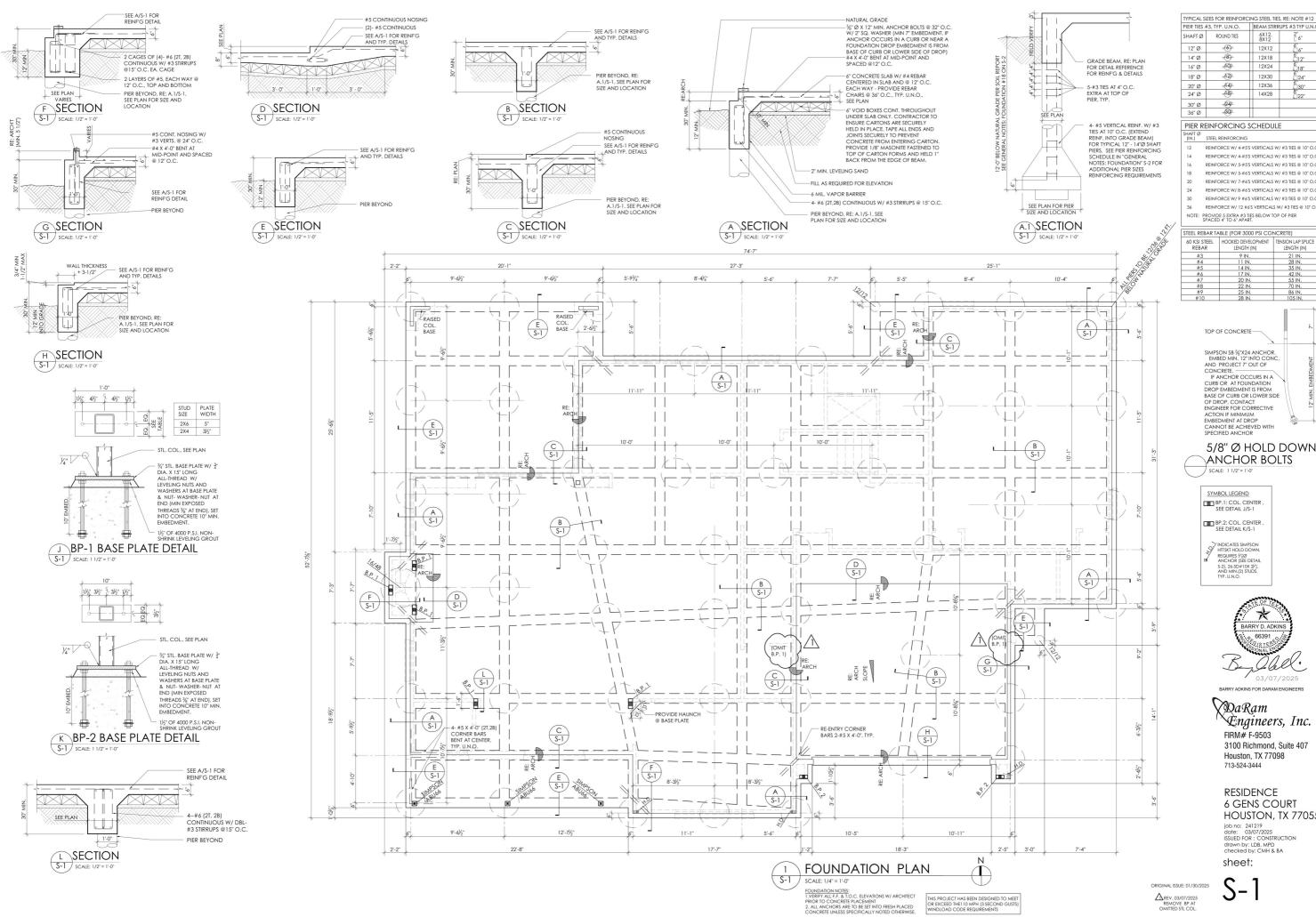
SCALE: 1-1/2" = 1'-0"

PRE-FAB FIRE PLACE



RE: ENG. DRAWINGS FOR FOUND. DETAIL

@ BATH CABINET SCALE: 3/4" = 1'-0"



TYPICAL SIZES FOR REINFORCING STEEL TIES, RE: NOTE #12
PIER TIES #3, TYP. U.N.O. BEAM STIRRUPS #3 TYP U.N.O 6X12, 8X12 164 12X12 12X18 12X24 12 12X30 14X28 -24) -30)

PIER REINFORCING SCHEDULE SHAFT Ø (IN.) STEEL REINFORCING

REINFORCE W/ 4-#5'S VERTICALS W/ #3 TIES @ 10" O.0 REINFORCE W/ 4-#5'S VERTICALS W/ #3 TIES @ 10" O.C REINFORCE W/ 5-#5'S VERTICALS W/ #3 TIES @ 10" O.C REINFORCE W/ 5-#6'S VERTICALS W/ #3 TIES @ 10" O.C PEINFORCE W/ 7-#4'S VERTICALS W/ #3 TIES @ 10" O C REINFORCE W/ 8-#6'S VERTICALS W/ #3 TIES @ 10" O.C REINFORCE W/ 9 #6'S VERTICALS W/ #3 TIES @ 10" O.0

NOTE: PROVIDE 5 EXTRA #3 TIES BELOW TOP OF PIER SPACED 4" TO 6" APART. STEEL REBAR TABLE (FOR 3000 PSI CONCRETE)

TOP OF CONCRETE -SIMPSON SB % "X24 ANCHOR, EMBED MIN, 12" INTO CONC. AND PROJECT 7" OUT OF CONCRETE.

IF ANCHOR OCCURS IN A CURB OR AT FOUNDATION DROP EMBEDMENT IS FROM BASE OF CURB OR LOWER SIDE OF DROP, CONTACT ENGINEER FOR CORRECTIVE ACTION IF MINIMUM EMBEDMENT AT DROP EMBEDMENT AT DROP CANNOT BE ACHIEVED WITH SPECIFIED ANCHOR

5/8" Ø HOLD DOWN ANCHOR BOLTS

SYMBOL LEGEND

BP.2: COL. CENTER SEE DETAIL K/S-1

INDICATES SIMPSON HIT5KT HOLD DOWN, REQUIRES 1/8/0 ANCHOR (SEE DETAIL S-2), 26-SD#10X 2½, AND MIN.(2) STUDS, TYP. U.N.O.

DaRam Engineers, Inc.

FIRM# F-9503 3100 Richmond, Suite 407 Houston, TX 77098 713-524-3444

RESIDENCE 6 GENS COURT HOUSTON, TX 77055

job no: 241219 date: 03/07/2025 ISSUED FOR: CONSTRUCTION drawn by: LDB, MPD checked by: CMH & BA

sheet:

GENERAL NOTES: CONSTRUCTION

- THE CONTRACTOR SHALL COMPARE STRUCTURAL SECTIO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLING STRUCTURAL SECTIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLING STRUCTURAL MEMBERS.
- THE STRUCTURAL DRAWINGS DEPICT THE STRUCTURE IN ITS FIN CONSTRUCTED CONFIGURATION, THE STRUCTURAL ENGINEER IS NEITHER QUALIFIED TO OBSERVE NOR COMMENT ON CONSTRUCTION MEANS AND METHODS AND JOB SITE SAFETY.
- REFER TO CONTRACTOR/ BUILDER FOR LOCATION AND PLACEMENT OF FOUNDATION SITE.
- ALL DIMENSIONS WILL BE CONFIRMED AND COMPLETED BEFORE CONSTRUCTION.
- REFER TO ARCHITECT'S PLANS FOR LOCATIONS OF ALL DROPS CONTRACTOR TO VERIFY ALL DIMENSIONS WITH ARCHITECT.
- ARCHITECT TO VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION 8. LANDSCAPING AROUND THE PERIMETER OF THE FOUNDATION SHALL BE PROPERLY INSTALLED TO PROMOT DRAINAGE AWAY FROM THE FOUNDATION (SEE NOTE #2) FRENCH DRAINS UNDER PLANTING BEDS SHOULD BE CONSIDERED WHERE ADEQUATE SURFACE DRAINAGE CANNOT BE ACHIEVED.
- ALL EXISTING CONDITIONS WILL REQUIRE FIELD VERIFIC DISCREPANCIES BETWEEN ENGINEERS DRAWINGS AND FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER, IN WRITING, FOR CORRECTIVE ACTION.
- DRAWINGS AND THE PROVIDED STRUCTURAL NOT BE THE RESPONSIBILITY OF THE ENGINEER.
- 1. THE GENERAL CONTRACTOR HAS, BY USE OF THESE PLANS AND GENERAL NOTES, ACCEPTED THE RECOMMENDATIONS AND METHODS WE HAVE RELIED ON FOR OUR DESIGN AS PART OF HIS CONSTRUCTION PROCEDURE.

TYPICAL SHEAR WALL & STRAPPING DETAILS

- 2 -8d NAILS @ 4" O.C

COURSE PLYWOOD HORIZONTALLY TO LAP KNEE

CONT. BLOCK @ PANEL JOINTS, TYP

INTERIOR PLYWOOD

SHEAR WALL

RE:ARCH'T

KNEE WALL OR SOLID BLOCKING

TRUSS OR JOISTS (AS PER PLAN)

SHEET ROCK -- FAR SIDE (UNO)

2-2X_ OR 4X_ BLOCKING AT

PROVIDE 5/8" Ø X 12" 'J' BOLTS W/ 2" SQ. WASHER @ 32" O.C. (U.N.O.) - SEE PLAN

U.N.O. -- SEE PLAN RAFTERS -- SEE PLAN

CEILING JOISTS -- SEE PLAN

WHICH EVER IS GREATER

RE: ARCH'T FOR EAVE DETAIL

SHEATHING AND STUD WALL

© OF FLOOR SYSTEM
MIN. 10d NAILS @ 4" O.C. ALONG
PLATES TYP., U.N.O.
FLOOR JOIST- SEE PLAN

EXTERIOR PLYWOOD SHEATHING AND STUD WALL

PLYWOOD PANEL EDGES

DBL 2X SOLID BLOCKING AT ALL

ANCHOR BOLT -- SEE FOUNDATION

PLAN ANCHOR BOLTS MUST BE SET PRIOR TO POURING CONCRETE

EXTERIOR PLYWOOD

MIN. 10d NAILS @ 4"O.C. ALONG TOP PLATE OR NAIL ACCORDING TO SHEAR

WALL AND STUD WALL - PROVIDE

1 1/8" T & G PLYWOOD

SITE REQUIREMENTS

POSITIVE DRAINAGE AWAY FROM THE FOUNDATION
SHALL BE MAINTAINED. A MINIMUM SLOPE OF 5% WITHIN
TEN FEET OF THE FOUNDATION IS RECOMMENDED.

SPRINKLER SYSTEMS, IF INSTALLED, SHOULD DELIVER NER ON ALL SIDES OF THE FOUNDATION, DISTRIBUTED SED ON THE AMOUNT OF VEGETATION PRESET TO DVIDE A CONSTANT MOISTURE CONTENT TO ALL DIMMETER SOILS.

BERMED PLANTING AREAS SHALL BE UNDERLAIN BY OMPACTED SELECT FILL TO PROMOTE POSITIVE 2. THE GENERAL CONTRACTOR SHALL EXAMINE THE ARCHITECTURAL, MECHANICAL, ELECTRICAL PLUMBING, AND CIVIL DRAWING IS A SPILICABLE FOR REQUIRED WORK TO BE PLACED IN CONCRETE. AND COORDINATE WITH THE STRUCTURAL FOR ALL OPENINGS, INSERS AND OTHER RELATED TEMS REQUIRED TO COMPLETE THE FOUNDATION, THE CONTRACTOR SHALL NOTIFY AND RECEIVE PERMISSION FROM THE STRUCTURAL ENGINEER FOR THE PLACING OF SLEEVES, PIPES OR OTHER MARTERIALS. SELECT FILL SOILS SHALL CONSIST OF SANDY CLAYS AND SILTY CLAYS WITH LIQUID LIMITS LESS THAN 40 AND A PLASTICITY INDEX BETWEEN 8 AND 20.

3. NO CONCRETE IS TO BE PLACED WITHOUT APPROVAL FROM ENGINEER OR ARCHITECT.

4. WE CANNOT BE HELD RESPONSIBLE FOR THE ADEQUACY OF CONSTRUCTION OR COMPLIANCE TO THESE DRAWINGS UNLESS WE ARE CONTRACTED TO PROVIDE REQULAR INSPECTIONS DURING CONSTRUCTION AND THEREBY HAVE LIMITED CONTROL OVER FIELD APPLICATION. POSITIVE SLOPE AWAY FROM THE FOUNDATION. PROVIDE ADEQUATE RUNOFF UNDER GROUND DRAINAGE MUST BE PROVIDED. DRAINS SHOULD SLOPE AT LEAST 1%.

TRUSSES/ JOISTS

PROVIDE

EACH

SHEAR WALL

FOR LOWER WALL DTLS. - SEE LEFT

WALL ALTERNATE

INT. SHEAR

RE:ARCH'T

5. CONCRETE SHALL NOT BE PLACED IN FREEZING OR RAINY WEATHER.

GENERAL NOTES: FOUNDATION

THE GENERAL CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ELEVATION OF DROPS, OFFSETS, BRICK LEDGES AND BLOCKOUTS ON THE ARCHITECTURAL PLANS AND NOTHEY THE REMINEER OF ANY DIMENSIONAL ERRORS BEFORE COMMENCEMENT OF FORM WORK.

6. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH AC1318 WITH LATEST REVISIONS

WITH CHEST REVISIONS
7. CONCRETE IN FOUNDATION TO ATTAIN A MINIMUM COMPRESSISTENDED OF 3000 PSI AT 28 DAYS AND AT LEAST 2000 PSI AT TIME C STRESSING 3 TO 10 DAYS, CONCRETE DESIGN MIS STALL BE IN ACCORDANCE WITH THE ACL, BUILDING CODE FECCIOREMENTS, 13 DAYS AND ATTAINED OF THE PROPERTY OF THE ACCORDANCE WITH THE ACCORDANCE WI

8. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED

FASTENER SCHEDULE

GING TO JOIST, TOE NAIL EACH END

JBLED TOP PLATES, FACE NAI

DS TO SOLE PLATE, END NAIL

RIDGE, SEE PLAN/

EDGER STRIP 16 SUBFLOOR OR LESS TO EACH JOIST, FACE NAI

OP PLATES, LAP AND INTERSECTIONS FACE NAIL

OF PORTES, DEP AND PIECES

(CHING) JOISTS TO PLATE, TOE NAIL

(CONTINUOUS HEADER, TWO PIECES

(EILING) JOISTS TO PLATE, TOE NAIL

(EILING) JOISTS, LAPS OVER PARTITIONS, FACE N

(EILING) JOISTS, TO PARALLEL RAFTER, FACE NAIL

FTER TO PLATE, TOE NAIL
NCH BRACE TO EACH STUD AND PLATE, FACE NAIL

S SHEATHING OR LESS TO EACH BEARING, FACE NA

/ER 1x8 SHEATHING TO EACH BEARING, FACE NAIL

VER IX SUBPLOOR OR LESS TO EACH JOIST, FACE NAIL SUBPLOOR TO JOIST GIRDER, BIND AND FACE NAIL DIABRET OF JOIST OR BLOCKING, FACE NAIL DP OR SOLE PLATE TO STUD, BND NAIL UID TO SOUE PLATE, TO FAUD, BND NAIL UID TO SOLE PLATE, TOE NAIL

9. REFER TO LATEST SOIL REPORT FOR ADDITIONAL INFORMATION ON THE SOIL CONDITIONS, SUCH AS FILL MATERIAL, LIME STABILIZATION, COMPACTION AND OTHER CONSTRUCTION PROCEDURES AND RECOMMENDATIONS ON WHICH THIS DESIGN IS BASED AND WHICH MUST BE FOLLOWED DURING CONSTRUCTION.

THE FIELD

ALONG EDGES

TYPICAL NAILING PATTERN

RAFTERS -- SEE PLAN

SIMPSON H2.5A @ EVERY STUD TO TOP PLATE, TYP., U.N.O. 6 -- 12d NAILS, TYP.

MIN. 10d NAILS @ 4"O.C. ALONG TOP

EXTERIOR PLYWOOD SHEATHING

AND STUD WALL

€ OF FLOOR SYSTEM

FLOOR DECK

PLATE OR NAIL ACCORDING TO SHEAR

PANEL SCHEDULE INDICATED ON PLANS
-- WHICH EVER IS GREATER

PLATES TYP., U.N.O.
FLOOR JOIST
EXTERIOR PLYWOOD SHEATHING AND
STUD WALL

DBL 2X SOLID BLOCKING AT ALL

MIN. 10d NAILS @ 4" O.C. ALONG

CEILING JOISTS -- SEE PLAN

RE: ARCH'T FOR EAVE DETAIL

10. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 WITH A305 DEFORMATIONS, DETAILED, FABRICATED AND INSTALLED PER ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE," ACI-315 LATEST REVISION.

11. WELDED SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM-A185 12. REINFORCING STEEL MINIMUM COVERAGE UNLESS NOTED ON REBAR CHAIRS SHALL BE:

*SEE LEGEND AND IMAGE FOR EXAMPLES OF STANDARD SIZES 13. CHAMFER ALL EXPOSED EDGES 3/4" AT 45 DEGREES.

14. HOLES FOR DRILLED FOOTINGS SHALL BE PLUMB AND FREE OF ALL LOOSE MATERIALS AND WATER. CONCRETE AND REINFORCING SHALL BE PLACED IMMEDIATELY AFTER EXCAVATION.

15. PROVIDE CORNER BARS IN THE INSIDE & OUTSIDE FACES O 2 BTM TYPICA IN THE SLAB.

60 KSI STEEL REBAR	HOOKED DEVELOPMENT LENGTH (IN)	TENSION LAP SPLICE LENGTH (IN)
#3	9 IN.	21 IN.
#4	11 IN.	28 IN.
#5	14 IN.	35 IN.
#6	17 IN.	42 IN.
#7	20 IN.	55 IN.
#8	22 IN.	70 IN.
#9	25 IN.	86 IN.
#10	28 IN.	105 IN.

FASTENER

STEEL REDAY TABLE AT SPLICES, THE SPLICES SHALL OCCUR AT MIDSPAN FOR TOP BARS AND OVER THE SUPPORTS FOR BOTTOM BADE.

2-16d OR 3-10d

16" O.C. ALONG EACH EDGE

3 @ EACH JOIST

19. SUB GRADE PREPARATION AND COMPACTION SHALL BE PER SOIL REPORT.

PLACE A MINIMUM 6 MIL. POLYETHYLENE VAPOR BARRIER UNDER CONCRETE SLABS, SEE ALSO FOUNDATION SECTION DETAILS FOR DITIONAL/ALTERNATE REQUIREMENTS.

22. BEAM AND SLAB DIMENSIONS ARE THE MINIMUM SIZE REQUIRED AND MAY NOT BE REDUCED OR ENLARGED WITHOUT PRIOR APPROVAL BY THE ENGINEER.

23. EXTERIOR BEAMS ARE TO EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL UNLESS THE SOIL REPORT STATES THAT MORE EMBEDMENT IS REQUIRED.

25. SIZE OF SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE, NO

PLYWOOD AND PARTICLES 15/32", 1/2"

19/32" - 3/4"

7/16" OR LESS

15/32" - 19/32

5/8"

3/4" AND GREATER

1/2" OR 5/8" GYPSUM SE GYPSUM WALL BOARD

1", 1 1/8"

18. FOOTING DESIGN BASED ON INFORMATION PROVIDED BY THE MIRITURE OLD ONLY MER 21 2024. FOOTING DESIGN BASED ON NET ALLOWABLE SOIL BEARING PRESSURE OF ALLOWABLE SOIL BEARING PRESSURE OF ALLOWABLE SOIL BEARING PRESSURE OF ALLOWABLE SOIL BEARING MEDICAL PROPERTY OF THE STATE OF TH

31. ALL DOWELS TO BE EMBEDDED (9" MIN. FOR #5 REBAR AND 5" MIN FOR #3 REBAR) & FOXIED INTO CLEAN DRY HOLE (PER EPOX MER. RECOMMENDATIONS AND SPECIFICATIONS) IN EVISTING CONCRETE FOUNDATION WHERE CALLED FOR ON PLANS, SEE FOUNDATION FLAN. EPOXY TO BE SIMPSON SET-XP HIGH STRENGTHEOVY TIE AND HOLDING ADDISTRUCTURES NOTED OTHERWISE.

32. WHERE EXISTING CONCRETE SURFACES ABUT NEW CONCRETE, EXISTING CONCRETE SHALL BE CLEANED (POWER WASHED) AND BONDING AGENT APPLIED (PER MFR RECOMMENDATIONS) PRIOR TO PLACEMENT OF NEW CONCRETE.

REINFORCE W/ 4-#5'S VERTICALS W/ #3 TIES @ 10" O.C. REINFORCE W/ 4-#5'S VERTICALS W/ #3 TIES @ 10" O.C.

REINFORCE W/ 5-#5'S VERTICALS W/ #3 TIES @ 10" O.C.

REINFORCE W/ 5-#6'S VERTICALS W/ #3 TIES @ 10" O.C. REINFORCE W/ 7-#6'S VERTICALS W/ #3 TIES @ 10" O.C.

REINFORCE W/ 8-#6'S VERTICALS W/ #3 TIES @ 10" O.C.

REINFORCE W/ 12 #6'S VERTICALS W/ #3 TIES @ 10" O.C.

6" O.C. EDGES AND

6" O.C. EDGES AN

12" O.C. INTERMEDIAT 4" O.C. EDGES AN

NOTE: PROVIDE 5 EXTRA #3 TIES BELOW TOP OF PIER. SPACED 4"-6" APART

PIER REINFORCING SCHEDULE

6d COMMON OR 6d ANNULAR

10d COMMON

12 GA 1 1/4"

1 1/2" DRYWALL NAIL

6d(2) 8d(2) 8d(2)

LARGE HEAD CORROSION R 1 3/8" DRYWALL NAI

aihing. Tant nails spaced 6-in on center at edge and 8-in on center at

** Drywall nails Shall Conform to ASTM C 514. 1. Siding Applied to 5/8-in net wood sheathing, 15/32-in Plywood or 1/2"

2. CORROSION RESISTANT NAILS SPACED 6-IN ON CENTER AT EDGE AND 8-IN ON CENTER A INTERMEDIATE SUPPORTS. NAILS SHALL HAVE A NINT BOGE DISTANCE OF 3/8". 3. SIDING APPLIED TO STUDS SPACED 1-IN ON CENTER MASIMUM. 4. SIDING APPLIED DIRECTLY TO STUDS SPACED 24-IN O.C., MAX. 5. USE ANNUAR OR SPIRAL THEAD NAILS FOR COMBINATION SUBFLOOR/UNDERLAYMENT

OR SPIRAL THREAD COMMON OR 6d ANNULAR OR SPIRAL THREAD

PIER TIES #3, TY SHAFT Ø F 12" Ø 14" Ø 16" Ø 18" Ø 20" Ø

CORNER

OPENING SIZE

6FT MAX 8 FT MAX

12 FT MAX

OPENING SIZE

HEADERS AT 1 STORY CONDITION

NAILING DETAIL

VERTICAL SUPPORTS REQ'D

[MIN 2X6 STUDS]

2 STUDS & 1 TRIMMER

6 STUDS & 4 TRIMMERS

VERTICAL SUPPORTS REQ'D

(MIN 2X6 STUDS) 2 STUDS & 1 TRIM

30" Ø

36" Ø

TYPICAL NOTES FOR LIGHT WOOD FRAMING:

OK KEINFORC	ING STEEL TIES	S, RE. NOTE #12				
P. U.N.O.	BEAM STIRR	BEAM STIRRUPS #3 TYP U.N.O.				
OUND TIES	6X12, 8X12	2" (6"				
/6)	12X12	6"				
/8 }	12X18	6" □12"				
10	12X24	6" □18"				
12	12X30	6" □24"				
14	12X36	_30" □30"				
18)	14X28	8" □22"				
24						
-30/-						

18. U.W.A. = UNDER WALL ABOVE

23. SHEATH ALL EXTERIOR WALLS WITH PLYWOOD SHEATHING. SEE 1ST FLR CEILING FRAMING NOTES FOR REQUIREMENTS.

24. TREATED FRAMING TO FOLLOW AMERICAN WOOD PROTECTION ASSOCIATION (AWPA)
RECOMMENDATIONS FOR PRESERVED USE. ALL
STRUCTURAL MEMBERS IN CONTACT WITH GROUND (OR WITHIN 6IN. OF GROUND) TO BE UC 4B

GENERAL NOTES: FRAMING

1. HIPS, VALLEYS, & RIDGES SHALL BE ONE SIZE LARGER THAN RAFTERS, TYP. UNLESS NOTED OTHERWISE (U.N.O.). 2. PROVIDE COLLAR TIES AT UPPER 1/3 DISTANCE BETWEEN RIDGE BOARD AND CEILING JOIST AT 48"

3. ALL RAFTERS 2X6 AT 16" O.C., TYP. U.N.O. 4. DOUBLE FLOOR JOIST UNDER ALL PARTITIONS PARALLEL TO JOIST BELOW TYP., U.N.O.

5. PROVIDE CROSS BRIDGING AT 8'-0" O.C. ON ALL 2X12 JOISTS.

6. PROVIDE RAFTER TIES AT ALL PLATES WHERE JOISTS ARE PERPENDICULAR TO RAFTERS.

8. ALL STRUCTURAL FRAMING SHALL HAVE A 19% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION.

9. STUD WALLS EXCEEDING 10'-0" SHALL HAVE FIRESTOPS.

21. PROVIDE (2) MSTC 78 STRAPPING (ONE EACH FACE) AT ALL 2- STORY CORNER CONDITIONS, SEE HOLD DOWN DETAIL, TYP, U.N.O.

25. PROVIDE (1) 22 GA. MASONRY TIE PER EVERY 2 SQFT OF MASONRY WHERE APPLICABLE

26.WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH SECTION R802.10.2 WITH LIVE LOADS AS DETAILED IN TABLE R301.5, WITH ADDITIC LINE AND POINT LOADS AS SPECIFIED ON CEILING FRAMING PLANS.

STRUCTURAL STEEL

TERIOR BALCONIES

GUARD IN-FILL COMPONENTS (f)
HANDRAILS (d)

\$ WITH STORAGE (b):
S OTHER THAN SLEEPING ROOMS
VG ROOMS

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATIONS: A992 (STRUCTURAL SHAPES), 50 KSI, A36 (ANGLES AND PLATES) 36 KSI, A572 (CHANNELS), 50 KSI, A500 (TUBE STEEL RE: HOLLOW STRUCTURAL SECTION, HSS) 46 KSI. B. PIPE COLUMNS SHALL CONFORM TO ASTM A 501 OR A 53, GRADE B.

ALL BOLTS SHALL BE ¾" Ø A 325 U.N.O. ALL BOLTS SHALL BE NEW AND NOT REUSED.

E. ALL WELDING SHALL CONFORM TO A.W.S. STANDARDS

F. WELD ELECTRODE TO BE E70, TYPICAL U.N.O.

TO MATCH ARCHES WHERE REQ'D

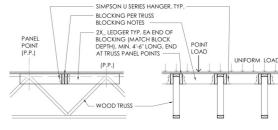
MAX. SPAN MINIMUM ANGLE BEARING
5-0" 23½" X 3½" X ½" X ½" 8"
7-0" 44" X 4" X ½" 8"
8-0" 4.5" X 5½" X ½" (LLV) 8"
9-0" 4.5" X 5½" X ½" (LLV) 10"

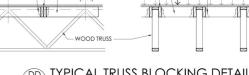
LINTELS NOTED AS BOLTED SHALL BE BOLTED TO SPECIFIED HEADER WITH $\S''_8 \otimes$ (A307) GALV. THRUBOLTS AT 24" O.C. TYP. U.N.O.

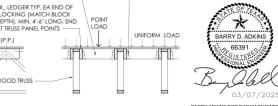


NUT-WASHER-NUT AT END EMBED MIN. 12" INTO CONC. AND PROJECT 7" OUT OF CONCRETE. IF ANCHOR OCCURS IN A CURB OR NEAR A FOUNDATION DROP EMBEDMENT IS FROM BASE OF CURB OR LOWER SIDE OF DROP, A LONGER THREADED MAY BE REQUIRED.

TOP OF CONCRETE







TYPICAL TRUSS BLOCKING DETAIL
S-2.9 SCALE: 1/2" = 1'-0"

TOP PLATE

%" X _" X 12" COL. CAP (SEE CHART FOR WIDTH)

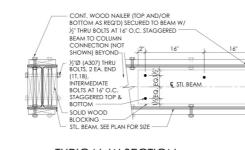
W/ (2)- %"Ø (A307)
THRU BOLTS CENTERED
IN PLATE WIDTH



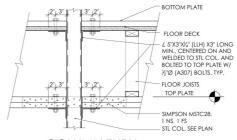
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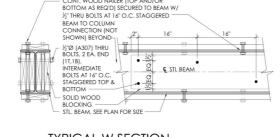
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TYPICAL W SECTION **BLOCKING & NAILERS** **COLUMN THRU**



BB PLATE DETAIL S-2.0 SCALE: 1" = 1'-0"



7/8" Ø HOLD DOWN

ANCHOR DTL.

SCALE: 1 1/2" = 1'-0"



2X6 5" 2X4 3½" TYPICAL COLUMN

NAILER ATTACHMENT DETAILS S-2.0 SCALE: Y'= 1'0' ORIGINAL ISSUE: 01/30/2025

EXTERIOR WALL SECTION/ SHEAR WALL DET., TYP. SCALE: 1/2" = 1'-0" SIMPSON CS16 & SIMILAR STRAPPING MAY BE APPLIED OVER PLYWOOD SHEATHING

@ RAISED PLATE, TYP. SCALE: 1/2" = 1'-0" SIMPSON C\$16 & SIMILAR \$TRAPPING MAY BE APPLIED OVER PLYWOOD SHEATHING

- BOTTOM PLATE

ANCHOR BOLT -- SEE FOUNDATION PLAN ANCHOR BOLTS MUST BE SET PRIOR TO POURING CONCRETE SEE FOLINDATION FOUNDATION -- SEE FOUNDATION PLAN PI AN FOR SECTION EXTERIOR/ SHEAR WALL DET.

MIN. 3 STUDS HOLD DOWN, SEE PLAN & SYMBOL LEGEND FOR TYPE

DETAIL AT HOLD DOWN

(3) SIMPSON CS16 (OR 1 MSTC 78)
ACROSS FLOOR SYSTEM W/ 14"

MIN. END LENGTH (TYP EA FLOOR)

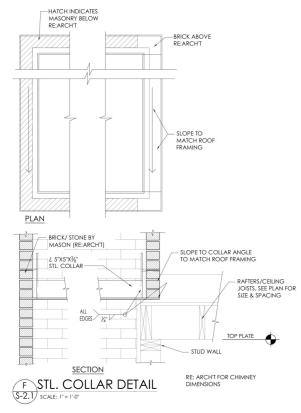
-RAFTER, SEE PLAN

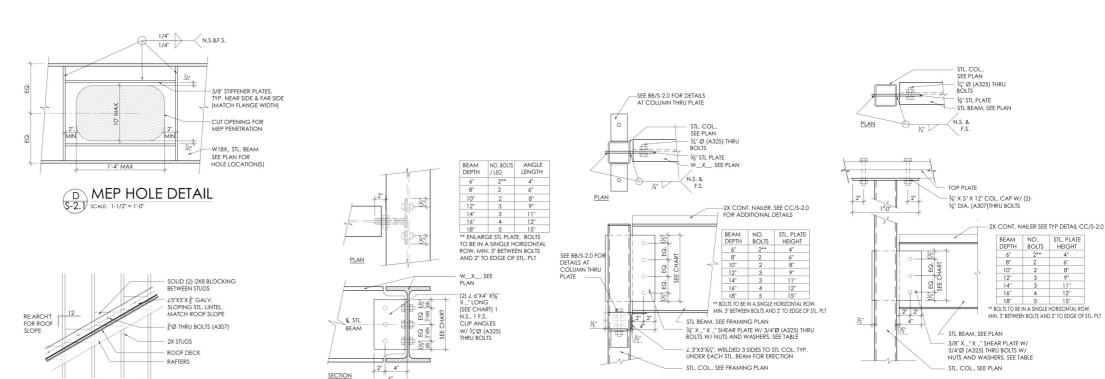
SON CS16 & SIMILAR STRAPPING MAY

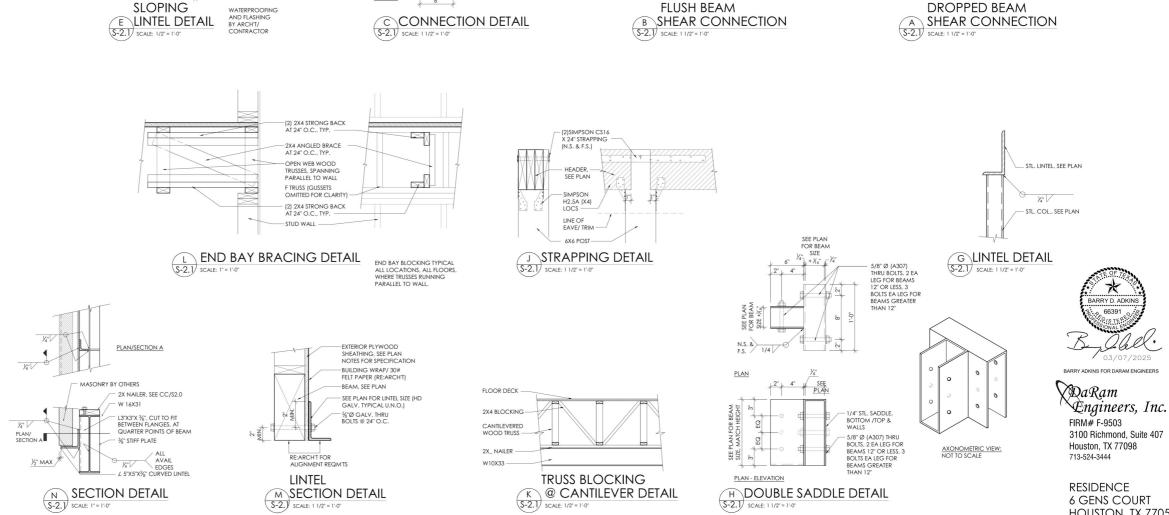
MIN. 3 STUDS

FLOOR JOIST, SEE PLAN

FOR SIZE & SPACING





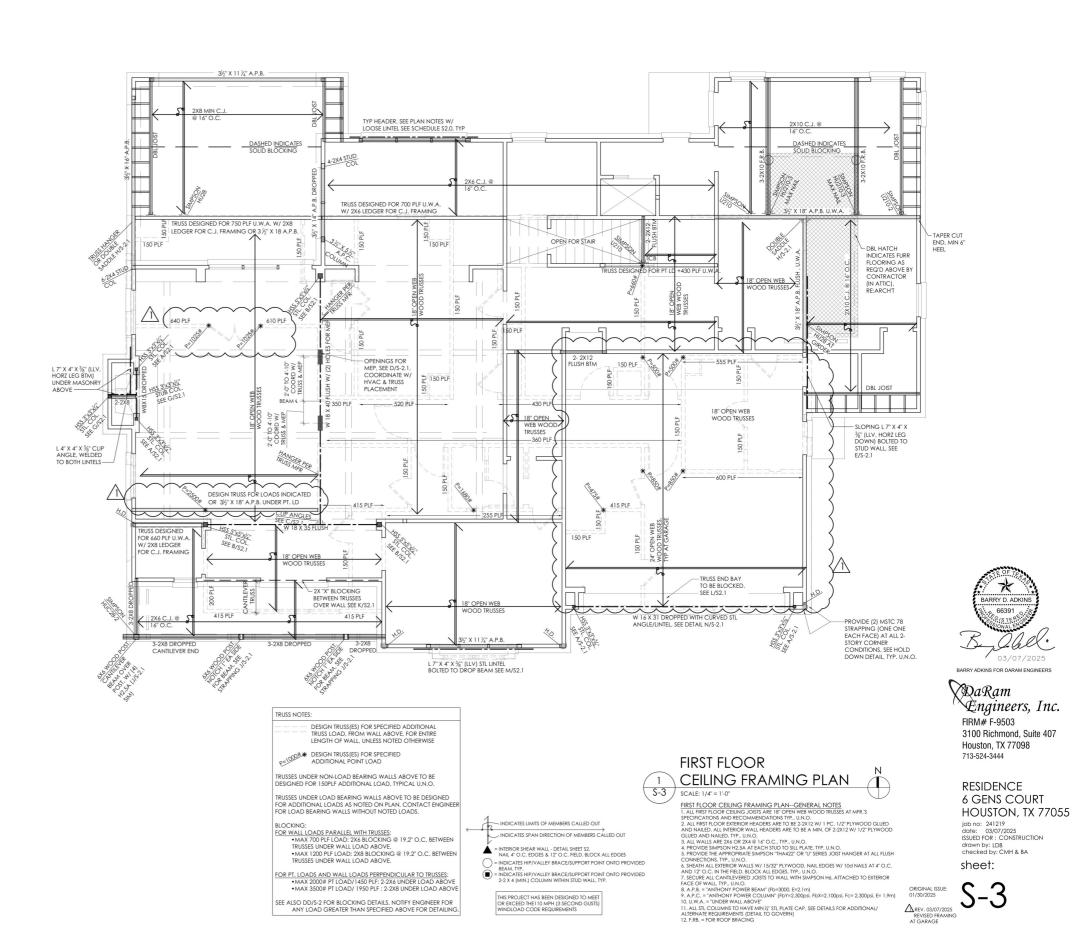


ORIGINAL ISSUE: 01/30/2025 REV. 03/07/2025 NO CHANGE THIS SHEET

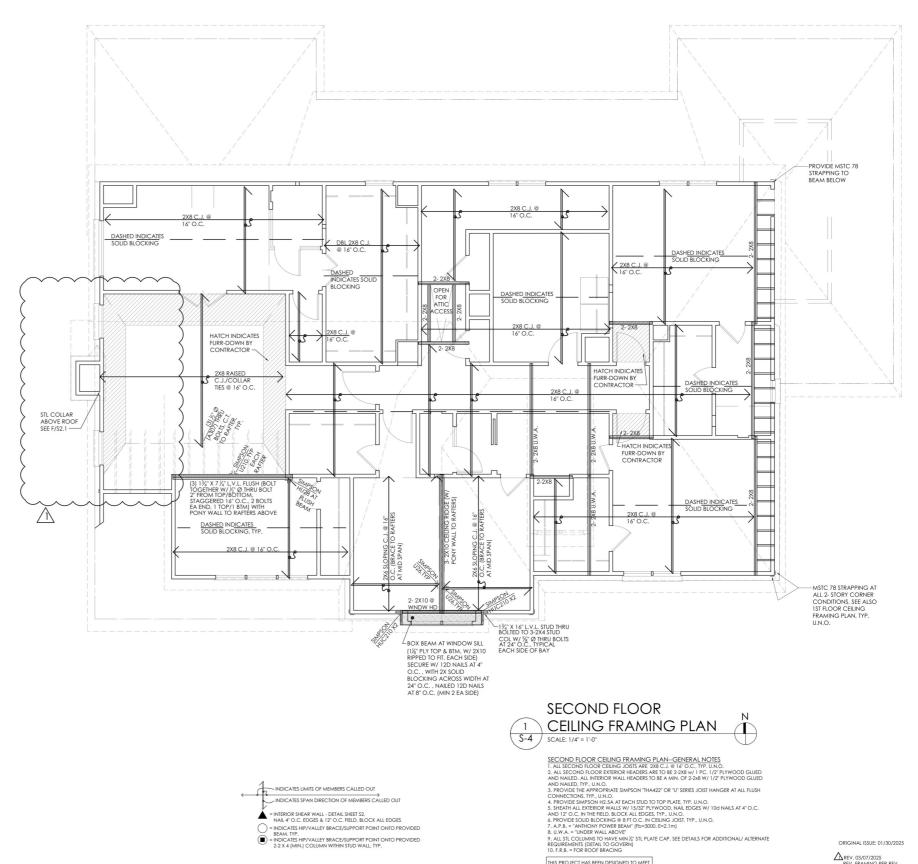
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SEE ALSO DD/S-2 FOR BLOCKING DETAILS. NOTIFY ENGINEER FOR ANY LOAD GREATER THAN SPECIFIED ABOVE FOR DETAILING



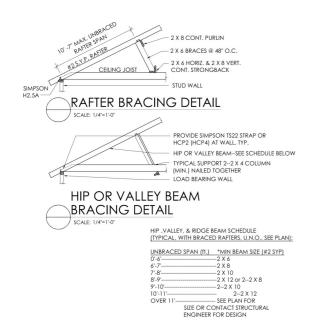
DaRam Engineers, Inc.

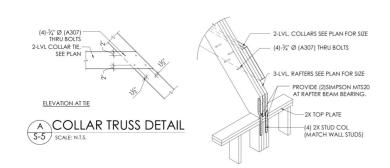
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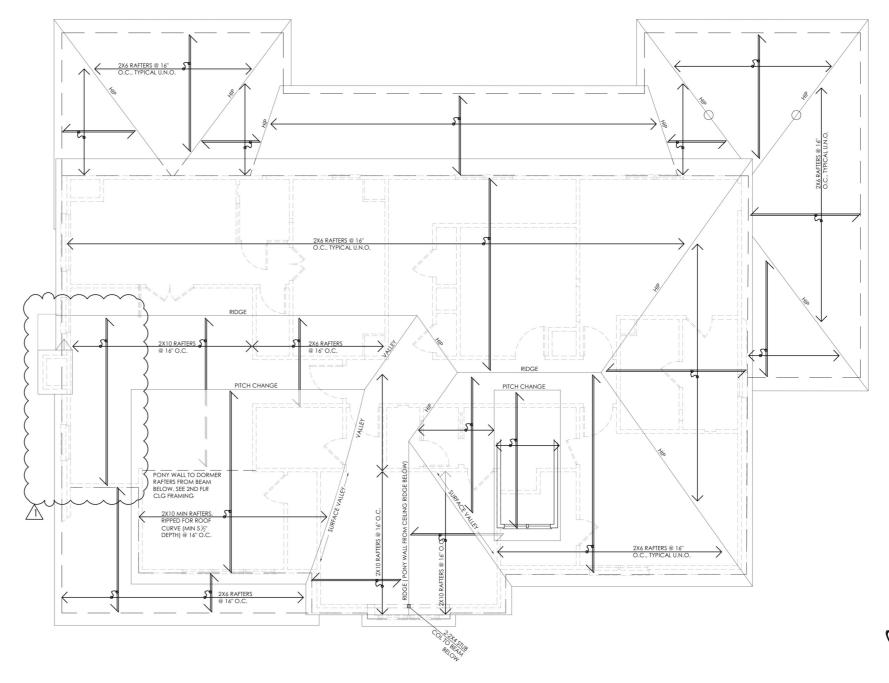
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*BEAMS TO BE NO SHALLOWER THAN RAFTER SIZE





INDICATES LIMITS OF MEMBERS CALLED OUT ► INDICATES SPAN DIRECTION OF MEMBERS CALLED OUT

■ INTERIOR SHEAR WALL - DETAIL SHEET \$2.

NAIL of O.C., EDGES & 12" O.C., RELD, BLOCK ALL EDGES

■ INDICATES HEPVALLEY BRACE/SUPPORT POINT ONTO PROVIDED
BEAM, TYP

■ ROICATES HEPVALLEY BRACE/SUPPORT POINT ONTO PROVIDED
22 X 4 (MINK) COLUMN WITHIN STUD WALL TYP.

ROOF FRAMING—GENERAL NOTES

1. ALI BOOF RAFIES ARE TO BE 21/6 #2 \$7.0 P. AT 16" O.C., TYP., U.N.O.

2. ALI RIDGES HIPS AND VALLEY ARE TO BE FER SCHEDULE ON HIP OR VALLEY BRACING DETAIL \$-4, MIN (1) 2X. ONE SIZE LARGER THAN THE RAFTER, TYP., U.N.O.

3. ALI ROOF RAFTERS ARE BRACED TO LOAD BEARING WALLS AND PROVIDED MEMBERS SUCH THAT THE MAXIMUM UNBRACED LENGTH IS 10"-7" OR LESS, TYP., U.N.O.; SEE RAFTER AND HIP, VALLEY AND RIDGE BRACE DETAILS.

4. PROVIDE SIMPSON 12.5A HURRICANE CLIP AT EVERY RAFTER TO STUD WALL CONNECTION. INSTALL CUIP TO THE OUTSIDE FACE OF WALL BEFORE SHEATHING SA APPLIED, TYP., U.N.O.

5. PROVIDE SIMPSON 63.16 X 2" LONG STRAP OVER RIDGE TO RAFTERS AT EVERY RAFTER, HANG RAFTERS TO STUD ROGE WITH SMYSON OF STRAP OVER RIDGE TO RAFTERS AT EVERY RAFTER, HANG RAFTERS TO STUD ROGE WITH SMYSON OF STRAP OVER RIDGE TO RAFTERS AT EVERY RAFTER, HANG



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REV. 03/07/2025 REV. FRAMING PER REV. ARCH