



PROPOSED RESIDENCE AT
6 GENS COURT
FOR
PARKER AND EMILY DALTON

ARCHITECTURAL
SOLUTIONS, INC.



1415 S. Voss, Ste. 110-96
Houston, Texas 77057
Phone: (713)978-6989
Fax: (713)978-7085

ARCHITECT



01-25-25

PROJECT TITLE

A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS

6 Gens Court
Houston, Texas 77055

PLAN NUMBER

4,528

DRAWN BY

C.B.D.

CHECKED BY

WTM

AREA TABULATION

FIRST FLOOR	2,345 S.F.
SECOND FLOOR	2,183 S.F.
TOTAL LIVING AREA	4,528 S.F.

2 CAR GARAGE & APRON & STO.	558 S.F.
FRONT PORCH	136 S.F.
COVERED PATIO	308 S.F.

TOTAL NON LIVING AREA	1,002 S.F.
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TOTAL COVERED AREA	5,530 S.F.
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SHEET TITLE

COVERSHEET

SCALE

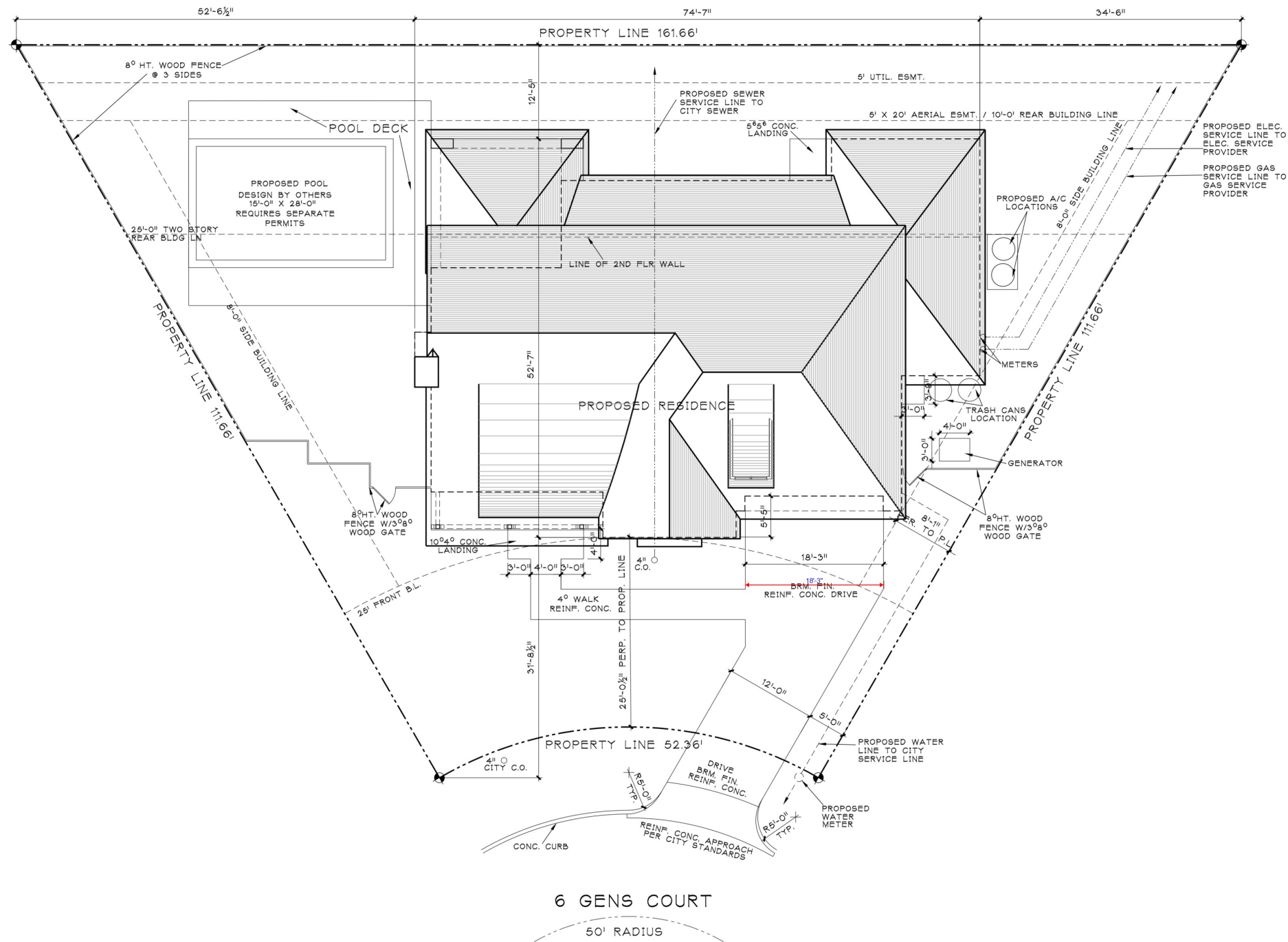
NONE

DATE

JANUARY 25, 2025

SHEET NUMBER

ABBREVIATIONS			GENERAL NOTES			ENERGY CODE COMPLIANCE			SHEET INDEX		
NOTE: Clarify with Architect all abbreviations not listed.											
AB.	ANCHOR BOLT	I.B.	IRONING BOARD	CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.			BUILDER SHALL COMPLY WITH THE ENERGY EFFICIENCY CHAPTER OF THE INTERNATIONAL RESIDENTIAL CODE (IRC). HOMES ARE REQUIRED TO HAVE THE ENERGY COMPONENTS OF THE BUILDING VERIFIED THROUGH ANALYSIS AND INSPECTION.				
ABV.	ABOVE	I.D.	INSIDE DIAMETER								
ADJ.	ADJUSTABLE	INSUL.	INSULATION	CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.			CALCULATIONS FOR THESE PLANS ARE BASED UPON THE FOLLOWING COMPONENTS BEING USED: 16 SEER A/C W/ PROGRAMMABLE THERMOSTAT FOR EACH SYSTEM 90% AFUE FURNACE R-13 WALL INSULATION (2X4 WALLS) R-19 WALL INSULATION (2X6 WALLS) R-19 ATTIC INSULATION R-19 SLOPED CEILING INSULATION R-19 FLOOR INSULATION (OVER UNCONDITIONED AREA & OVER OUTSIDE AIR) 1/2" CDX WALL SHEATHING (W/ UNBREACHED VAPOR BARRIER) R-6 DUCTWORK SOLID WOOD FRONT DOOR(S) W/ .24 SHGC AND .32 U-VALUE WOOD EXTERIOR DOORS W/ GLASS W/ .24 SHGC AND .32 U-VALUE WINDOWS SHGC = .24 WINDOW U-VALUE = .32 WATER HEATERS ENERGY FACTOR = .83				
A.F.F.	ABOVE FINISHED FLOOR	INT.	INTERIOR								
AGGR.	AGGREGATE	IRC	INTERNATIONAL RESIDENTIAL CODE	CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.			ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.				
AL.	ALUMINUM	JNT.	JOINT								
ALT.	ALTERNATE	JST.	JOIST	ALL WORK SHALL BE ERCTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.			THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.				
A.P.	ACCESS PANEL	KIT.	KITCHEN								
APPROX.	APPROXIMATE	K.S.	KNEE SPACE (DESK)	ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.			DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE.				
ARCH.	ARCH OR ARCHED	KD	KILN DRIED								
A/V	AUDIO/VISUAL	LAM.	LAMINATE	UPON COMPLETION OF WORK THE CONTRACTOR SHALL WALK THROUGH WITH BUILDING OWNER AND COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.			ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY OWNER.				
APPL.	APPLIANCE	LAV.	LAVATORY								
BALC.	BALCONY	LIN.	LINEN	SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS REQUIRE 110V. CONNECTION TO HOUSE WIRING, IN ADDITION TO BATTERY BACKUP. ALL SMOKE & CARBON MONOXIDE DETECTORS TO BE ACTIVATION INTERCONNECTED.			1/2" GYP. BOARD WALLS AND CEILINGS (ENCLOSE UNDERSIDE OF STAIRWELL WITH 5/8" FIRECODE TYPE "X" GYP. BOARD).				
B.I.	BUILT-IN	LT.	LIGHT								
B1	BIDET	MAX.	MAXIMUM	ALL FRAMING MATERIAL TO BE #2 KD 19 SOUTHERN YELLOW PINE.			ALL STUDS TO BE STUD GRADE FIR.				
BO.	BOARD	M.C.	MEDICINE CABINET								
B.F.E.	BASE FLOOD ELEVATION	MECH.	MECHANICAL	WHERE WALLS EXCEED 10'-0" OF LATERALLY UNBRACED LENGTH, PROVIDE 2X6 STUDS @ 16" O.C. PROVIDE 2X4 STUDS @ 16" O.C. ELSEWHERE.			ALL WOOD BEAMS TO BE #2 KD SYP (U.O.N.).				
BLDG.	BUILDING	MFR.	MANUFACTURER								
BLDR.	BUILDER (GENERAL CONTRACTOR)	MIN.	MINIMUM	ALL EXTERIOR WALLS AND MAIN PARTITIONS (LOAD BEARING) SHALL BE EFFECTIVELY BRACED AS SPECIFIED IN IRC SECTION R602.10.			1-1/8" EMCM PLYWOOD SUBFLOOR WITH PANEL SPAN RATING OF 48/24" O.C..				
BLK	BLOCK	MISC.	MISCELLANEOUS								
BLK'G.	BLOCKING	M.O.	MASONRY OPENING	YIELD STRENGTH OF STEEL TO BE MINIMUM 36 K.S.I.			SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY TO IRC TABLE R602.3(1).				
BM.	BEAM	MTL.	METAL								
BOT.	BOTTOM	MUL.	MULLION	BEDROOM WINDOWS TO HAVE 5.7. SQUARE FEET NET FREE AREA WITH 20" WIDE AND 24" HIGH MINIMUM CLEAR OPENINGS, MAXIMUM 44" ABOVE FINISHED FLOOR.			ALL HEADER BEAMS TO BE 2-2X12 (#2) AT FIRST FLOOR. HEADERS AS SCHEDULED AT SECOND FLOOR.				
BTWN.	BETWEEN	MW	MICROWAVE OVEN								
B.W.	BOTH WAYS	N.C.	NOT IN CONTRACT	STAIRWAY SHALL COMPLY WITH IRC SECTION R311.7			ALL GUARDRAILS TO BE 36" HIGH MIN. AND COMPLY W/ IRC SECTION R312.				
C.J.	CONTROL JOINT	NO.	NUMBER								
CAB.	CABINET	NUM.	NOMINAL	BALUSTERS SHALL BE SPACED ACCORDING TO IRC SECTION R312.1.3			HANDRAILS TO BE 34" TO 38" ABOVE NOSE OF TREAD, COMPLY WITH IRC R311.7.8 AND SHALL BE CONTINUOUS FULL LENGTH OF STAIRS.				
CLG.	CEILING	N.T.S.	NOT TO SCALE								
CLK'G.	CAULKING	O.C.	ON CENTER	HANDRAILS AND GUARDRAILS SHALL COMPLY W/ MINIMUM UNIFORM DISTRIBUTED LIVE LOADS SPECIFIED IN IRC TABLE R301.5.			WHEN GAS IS USED IN UTILITY ROOM PROVIDE COMBUSTION AND DRYING AIR (LOUVERED DOORS OR UNDERCUT DOORS).				
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER								
C.M.U.	CONCRETE MASONRY UNIT	OH.	OVERHEAD	UNLESS OTHERWISE PERMITTED OR REQUIRED BY THE DRYER MANUFACTURERS INSTALLATION INSTRUCTION OR APPROVED BY BUILDING OFFICIAL, DOMESTIC DRYER MOISTURE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 10 FEET INCLUDING TWO 90 DEGREE ELBOWS. TWO FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO.			ALL GLASS AT TUBS AND SHOWERS TO BE TEMPERED SAFETY GLASS AND MUST COMPLY WITH IRC SECTION R308.				
C.O.	CASED OPENING	OPER.	OPERABLE								
COL.	COLUMN	OPG.	OPENING	SHOWER STALLS AND TUB WALLS TO BE FINISHED WITH NONABSORBENT SURFACE OVER HARDIE BACKER BOARD.			SHOWER VENTILATION AT ALL BATHS AND UTILITY ROOM THROUGH NATURAL OR MECHANICAL MEANS AND COMPLY WITH IRC R303				
COMP.	COMPUTER	OPP.	OPPOSITE								
CONC.	CONCRETE	PCT.	PRE-CAST	PROVIDE SAFETY GLAZING IN ALL SPECIFIC HAZARDOUS LOCATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF IRC SECTION R308.			PROVIDE A SELF CLOSING TIGHT FITTING DOOR 1 1/2" THICK OR A SELF CLOSING TIGHT FITTING DOOR HAVING A FIRE PROTECTION OF 20 MINUTES BETWEEN THE RESIDENCE AND GARAGE PER SECT 302.5 IRC 2021				
CONN.	CONNECTION	P.L.	PROPERTY LINE								
CONSTR.	CONSTRUCTION	P.LAM.	PLASTIC LAMINATE	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
CONT.	CONTINUOUS	PLAS.	PLASTER								
CPT	CARPET	PLT.	PLATE	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
CT	COOKTOP	PLYW.	PLYWOOD								
D.	DRYER	PR.	PAIR	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DBL.	DOUBLE	R.	RISER(S)								
DEG.	DEGREE	R.D.	ROOF DRAIN	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DET./DTL.	DETAIL	RE.	REFER TO ...								
D.H.	DOUBLE HUNG	REF.	REFRIGERATOR	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DIAG.	DIAGONAL	REINF.	REINFORCED								
DIA. Ø	DIAMETER	REQ'D.	REQUIRED	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DISP.	DISPOSAL	RM	ROOM								
DISAP.	DISAPPEARING	R.O.	ROUGH OPENING	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DN.	DOWN	R.S.	ROUGH SAWN								
DO	DOUBLE OVEN	S.	SINK	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DR.	DOOR	S & R	SHELF & ROD								
DRS.	DOORS	S.C.	SOLID CORE	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DRWR.	DRAWER	SCHED.	SCHEDULE								
D.S.	DISAPPEARING STAIR	S.D.	SMOKE DETECTOR	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DW	DISHWASHER	SECT.	SECTION								
DWG.	DRAWING	S.F.	SQUARE FOOT	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
DSS	DIGITAL SATELLITE SYSTEM	S.H.	SINGLE HUNG								
DR. BM.	DROP BEAM	SHT.	SHEET	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
(E)	EXISTING	SHTV.	SHELVES								
EA.	EACH	SHWR.	SHOWER	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
E.J.	EXPANSION JOINT	SIM.	SIMILAR								
E.I.F.S.	EXTERIOR INSULATION AND FINISH SYSTEM	SPEC.	SPECIFICATION	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
ELEC.	ELECTRICAL	SQ.	SQUARE								
ELEV.	ELEVATION	S.S.	STAINLESS STEEL	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
ENCL.	ENCLOSURE	STAGG.	STAGGERED								
EQ.	EQUAL	STD.	STANDARD	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
EQUIP.	EQUIPMENT	STIFF	STIFFENER								
E.W.	EACH WAY	STL.	STEEL	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
EXP.	EXPANSION	STRUC.	STRUCTURAL								
EXT.	EXTERIOR	SUSP.	SUSPENDED	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
F.D.	FURR DOWN	SLP.	SLOPE								
FDN.	FOUNDATION	SYP	SOUTHERN YELLOW PINE	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
F.F.	FINISH FLOOR	T.D.	TRASH DRAWER								
FIN.	FINISH	T.C.	TRASH COMPACTOR	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in the cessation of such construction or buildings being seized and / or razed. The duplication or reproduction of these plans without permission is prohibited.				
FLR.	FLOOR	TEMP.	TEMPERED								
FLUR.	FLOURESCENT	T & B	TOP AND BOTTOM	DRAWINGS AND SPECIFICATIONS, as instruments of service, are the exclusive property of this architect whether the project for which they were prepared is executed and constructed or not. These documents are not to be reproduced in any form and they are not to be used by the project owner nor any other entity on any other projects or for any extensions or additions or for alterations to the original project except by written authorization and permission from and agreement with this architect.			These plans are copyrighted and subject to copyright protection as an "Architectural Work" under Section 203 of the Copyright Act, 17 U.S.C., as amended December 1, 1990, and known as Architectural Works Copyright Protection Act of 1990. The protection includes, but is not limited to, the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, works or forms represented can legally result in				



LOT CALCULATIONS

LOT AREA	10,007 S.F.
IMPROVEMENTS	
FIRST FLOOR	2,345
GARAGE & APRON & STO	558
FRONT PORCH	136
COVERED PATIO	308
DRIVEWAY	490
WALKS & EQUIP. PADS	221
POOL & POOL DECK	864
TOTAL IMPROVEMENTS	4,922 S.F.
LOT COVERAGE	49.19 %

LOT AREA IN FRONT OF B.L.	1,637 S.F.
IMPROVEMENTS	
DRIVEWAY	347
WALK	118
TOTAL IMPROVEMENTS	465 S.F.
LOT COVERAGE	29.40 %

LOT AREA BEHIND OF B.L.	8,370 S.F.
IMPROVEMENTS	
FIRST FLOOR	2,345
GARAGE & APRON & STO	558
FRONT PORCH	136
COVERED PATIO	308
DRIVEWAY	143
POOL & POOL DECK	864
WALKS & EQUIP. PADS	73
TOTAL IMPROVEMENTS	4,427 S.F.
LOT COVERAGE	52.89 %



NORTH

LOT: 305

BLOCK: 20

SECTION: 4

SPRING OAKS

SUBDIVISION

ARCHITECTURAL
SOLUTIONS, INC.



1415 S. Voss, Ste. 110-96
Houston, Texas 77057
Phone: (713)978-6989
Fax: (713)978-7085

ARCHITECT



01-25-25

PROJECT TITLE

A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS

6 Gens Court
Houston, Texas 77055

PLAN NUMBER

4,528

DRAWN BY

C.B.D.

CHECKED BY

WTM

AREA TABULATION

FIRST FLOOR	2,345 S.F.
SECOND FLOOR	2,183 S.F.
TOTAL LIVING AREA	4,528 S.F.
2 CAR GARAGE & APRON & STO.	558 S.F.
FRONT PORCH	136 S.F.
COVERED PATIO	308 S.F.
TOTAL NON LIVING AREA	1,002 S.F.
TOTAL COVERED AREA	5,530 S.F.

SHEET TITLE

SITE PLAN

SCALE:
1/8" = 1'-0"

DATE
JANUARY 25, 2025

SHEET NUMBER

A0.10

- Concrete flooring

485.0 SQ FT

Wood flooring

1643.9 SQ FT

Tile flooring

402.4 SQ FT

Brick flooring

410.3 SQ FT
- (18'-0" x 8'-0") Over head ...

1.0 EA

(3'-0" x 8'-0") Exterior singl...

2.0 EA

(2'-8" x 8'-0") Interior singl...

1.0 EA

(2'-4" x 8'-0") Interior singl...

6.0 EA

(2'-4" x 8'-0") Exterior singl...

1.0 EA

(2'-8" x 8'-0") Interior singl...

1.0 EA

(3'-0" x 8'-0") Interior singl...

1.0 EA

(10'-0" x 9'-0") Gypsum bo...

1.0 EA

(3'-0" x 8'-0") Gypsum bo...

1.0 EA

(2'-8" x 8'-0") Gypsum bo...

1.0 EA

(3'-0" x 8'-0") Interior four l...

1.0 EA

(6'-0" x 9'-0") Exterior tem...

1.0 EA

(15'-0" x 9'-0") Gypsum bo...

1.0 EA

(9'-4" x 8'-0") 2(3'-0" x 8'-0...

1.0 EA

(7'-10" x 6'-6") 3(2'-6" x 6'-...

1.0 EA

(3'-0" x 6'-0") Fixed window

2.0 EA

(3'-0" x 6'-0") Casement wi...

2.0 EA

(3'-0" x 5'-0") Fixed window

1.0 EA

(9'-4" x 6'-6") (3) 3'-0" wid...

1.0 EA

(6'-2" x 6'-6") (2) 3'-0" wid...

1.0 EA

(4'-0" x 6'-6") Fixed window

2.0 EA

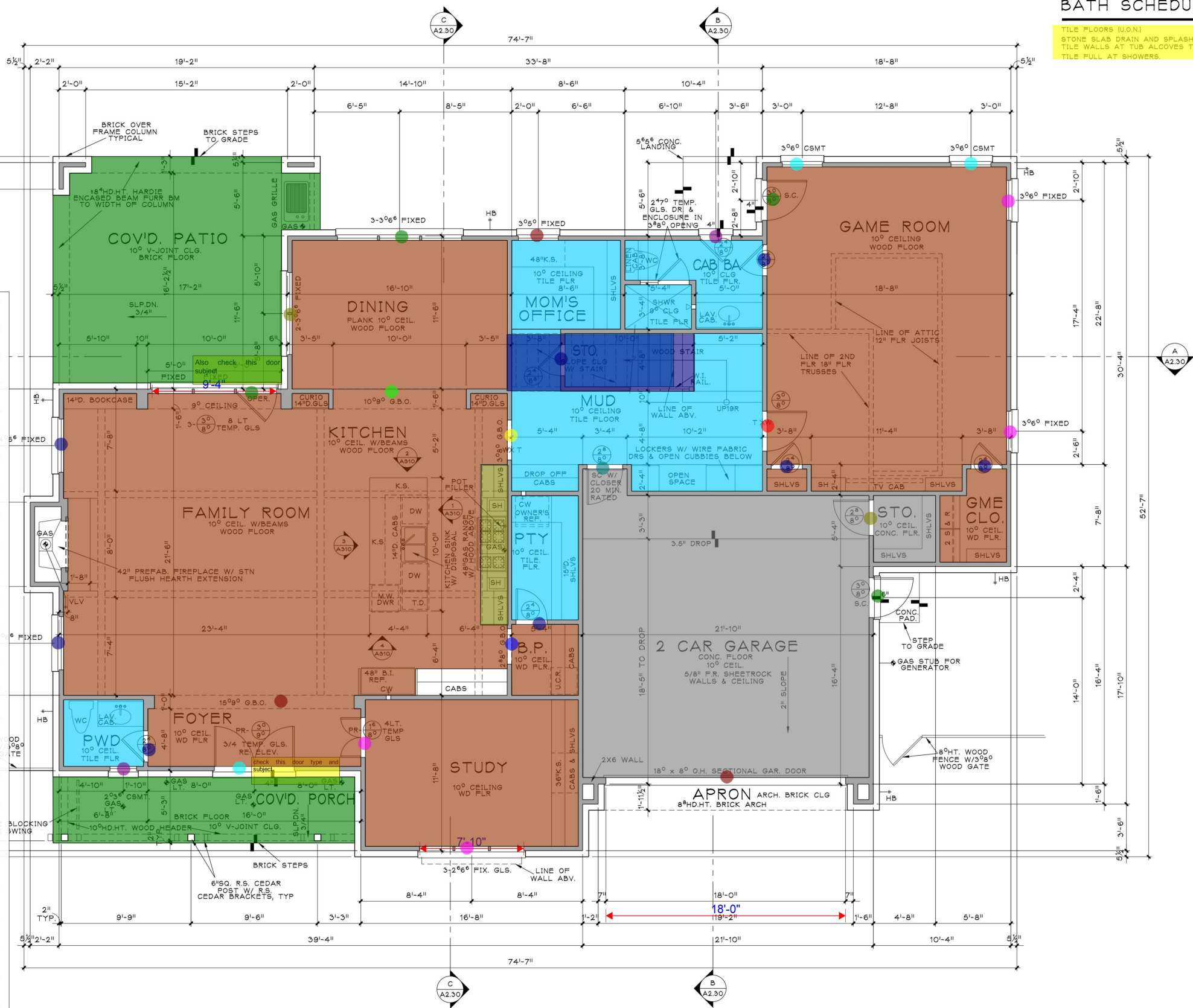
(2'-0" x 3'-6") Casement wi...

1.0 EA
- Extra ceiling only

24.5 SQ FT

Type X ceiling

59.9 SQ FT



- GENERAL NOTES
- 10'-0" CEILING HEIGHTS AT FIRST FLOOR (U.O.N.)

10'-0" CEILING HEIGHTS AT SECOND FLOOR (U.O.N.)

WOOD FLOORS (U.O.N.)

CASEMENT WINDOW AT 8'-0" HEAD HT. @ FIRST & SECOND FLOOR (U.O.N.)

1-3/8" 2-PANEL INTERIOR DOORS. 8'-0" AT FIRST AND SECOND FLOOR (U.O.N.)

1-3/4" SOLID CORE EXTERIOR DOORS.

BATH SCHEDULE

TILE FLOORS (U.O.N.)

STONE SLAB DRAIN AND SPLASH (U.O.N.)

TILE WALLS AT TUB ALCOVES TO CEILING.

TILE FILL AT SHOWERS.

ARCHITECTURAL SOLUTIONS, INC.

1415 S. Voss, Ste. 110-96

Houston, Texas 77057

Phone: (713)978-6989

Fax: (713)978-7085

ARCHITECT	01-25-25
PROJECT TITLE	A Custom Residence for: PARKER & EMILY DALTON
PROJECT ADDRESS	6 Gens Court Houston, Texas 77055
PLAN NUMBER	4,528
DRAWN BY	C.B.D.
CHECKED BY	W.T.M.
AREA TABULATION	
FIRST FLOOR	2,345 S.F.
SECOND FLOOR	2,183 S.F.
TOTAL LIVING AREA	4,528 S.F.
2 CAR GARAGE & APRON & STO.	558 S.F.
FRONT PORCH	136 S.F.
COVERED PATIO	308 S.F.
TOTAL NON LIVING AREA	1,002 S.F.
TOTAL COVERED AREA	5,530 S.F.
SHEET TITLE	FIRST FLOOR PLAN
SCALE	1/4" = 1'-0"
DATE	JANUARY 25, 2025
SHEET NUMBER	A1.10

Typical compositi...

2126.9 SQ FT

Typical compositi...

931.4 SQ FT

Metal roof x 1.0833

9.1 SQ FT

Typical compositi...

622.6 SQ FT

Hip flashing

153.0 FT

Valley flashing

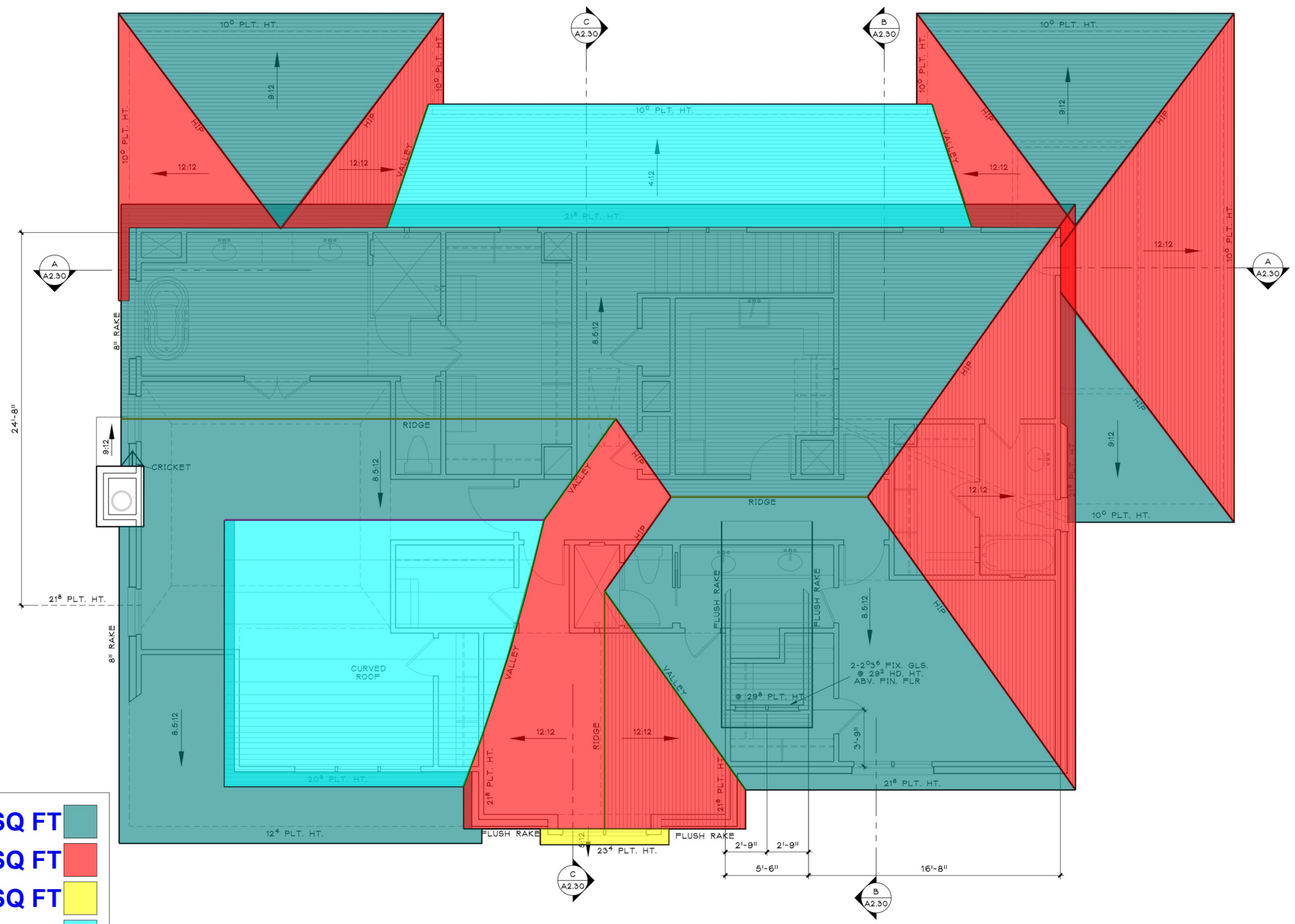
59.9 FT

Ridge flashing

61.5 FT

Flashing @ transition

21.2 FT



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ARCHITECT



01-25-25

PROJECT TITLE
A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS
6 Gens Court
Houston, Texas 77055

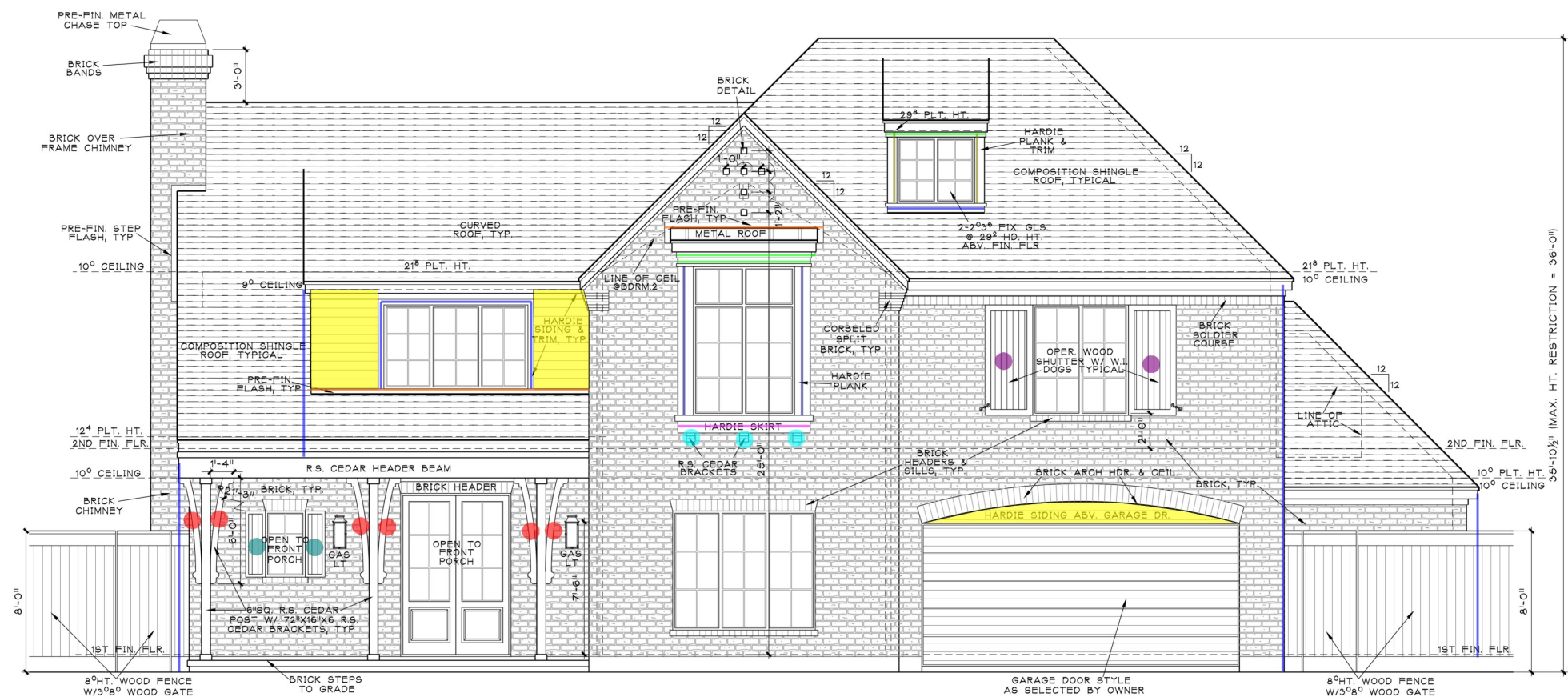
PLAN NUMBER
4,528
DRAWN BY
C.B.D.
CHECKED BY
WTM

AREA TABULATION	
FIRST FLOOR	2,345 S.F.
SECOND FLOOR	2,183 S.F.
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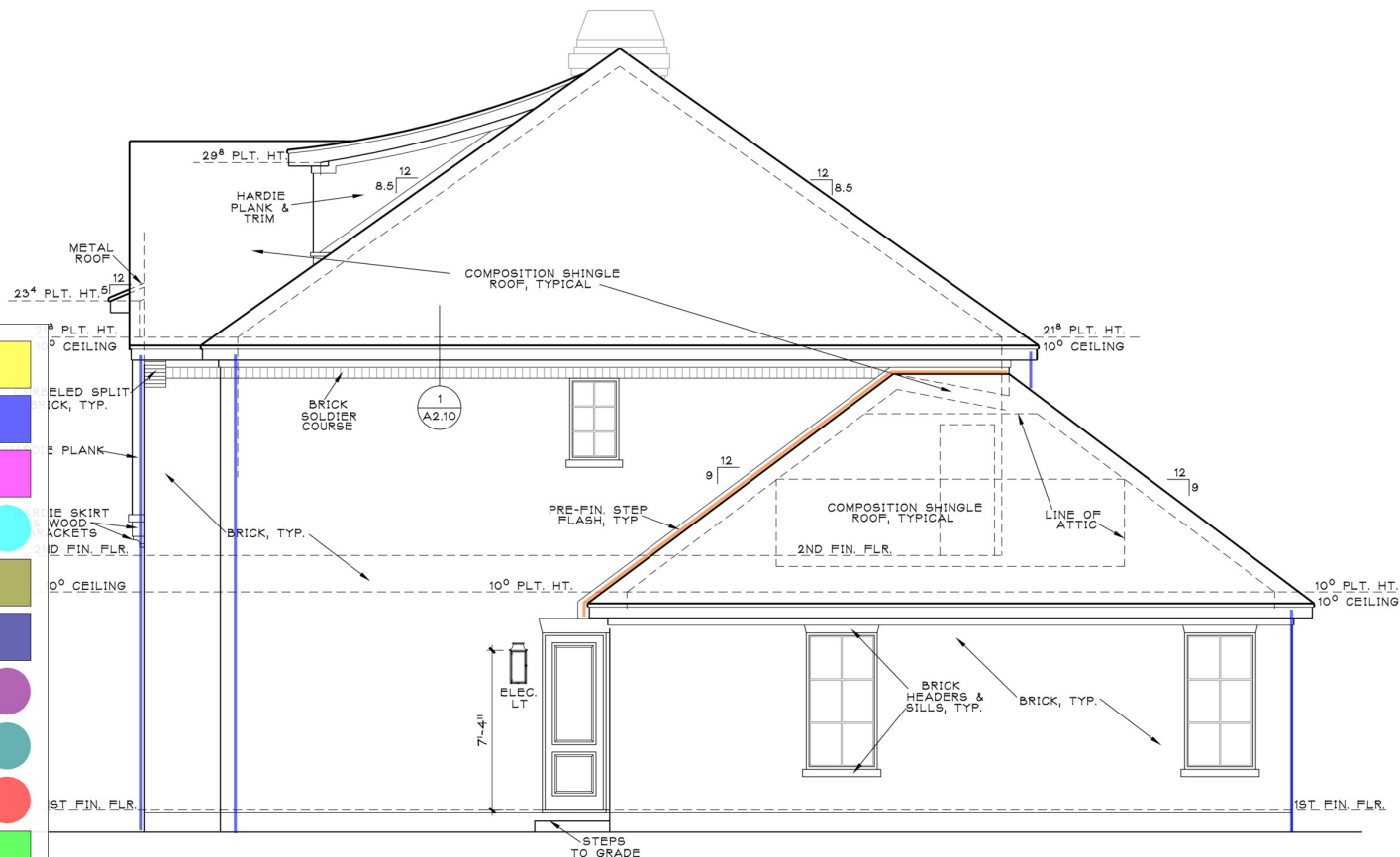
SHEET TITLE
ROOF PLAN

SCALE
1/4" = 1'-0"
DATE
JANUARY 25, 2025
SHEET NUMBER

A1.30



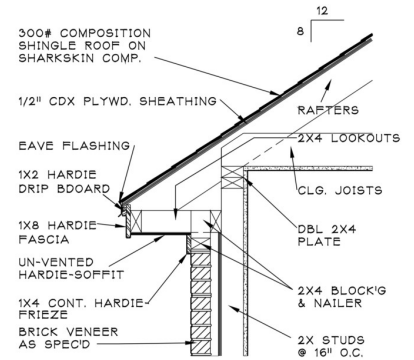
FRONT ELEVATION
SCALE 1/4" = 1'-0"



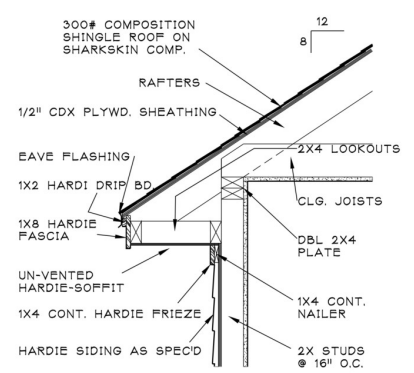
RIGHT ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION NOTES

ALL PLATE HEIGHTS MEASURED ABOVE FIRST FLOOR
OVERHANGS TO BE 1'-0" FROM FRAME WALL AT 12/12 PITCH, OTHERS TO MATCH.
RAKES TO BE 8" FROM EXTERIOR WALL.
PROVIDE STEEL LINTELS AS SCHEDULED AT OPENINGS WITH BRICK ABOVE.
PROVIDE GUTTERS AND DOWNSPOUTS AS DIRECTED BY OWNER
PROVIDE SPARK ARRESTORS AT CHIMNEY WITH MESH TO HAVE 1/2" MAXIMUM GAP.
SIDING SHALL BE ARTISAN SIDING AND TRIM OR EQUAL.



1 TYP. SOFFIT DETAIL
SCALE: NONE



2 TYP. SOFFIT DETAIL
SCALE: NONE

Typical hardie siding	53.1 SQ FT	
4" Wide Trim for Wind...	23.8 FT	
12" W Hardie skirt	7.5 FT	
(4"x4") R.S Cedar Brac...	3.0 EA	
6" Wide Hardie Plan	7.9 FT	
10" Wide Hardie Plank	16.8 FT	
(2'-8"x6'-3") Oper. woo...	2.0 EA	
(1'-2"x3'-8") Oper. woo...	2.0 EA	
(72"x16"x6") R.S. Ced...	6.0 EA	
4" Wide Trim for Wind...	21.1 FT	
Pre-Finished Roof to ...	48.4 FT	
Downspout	108.1 FT	

ARCHITECTURAL SOLUTIONS, INC.

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ARCHITECT

01-25-25

PROJECT TITLE
A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS
6 Gens Court
Houston, Texas 77055

PLAN NUMBER
4,528

DRAWN BY
C.B.D.

CHECKED BY
WTM

AREA TABULATION

FIRST FLOOR	2,345 S.F.
SECOND FLOOR	2,183 S.F.
TOTAL LIVING AREA	4,528 S.F.
2 CAR GARAGE & APRON & STO.	558 S.F.
FRONT PORCH	136 S.F.
COVERED PATIO	308 S.F.
TOTAL NON LIVING AREA	1,002 S.F.
TOTAL COVERED AREA	5,530 S.F.

SHEET TITLE
EXTERIOR ELEVATIONS

SCALE
1/4" = 1'-0"

DATE
JANUARY 25, 2025

SHEET NUMBER
A2.10



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01-25-25

A Custom Residence for:
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PROJECT ADDRESS
6 Gens Court
Houston, Texas 77055

PLAN NUMBER
4,528

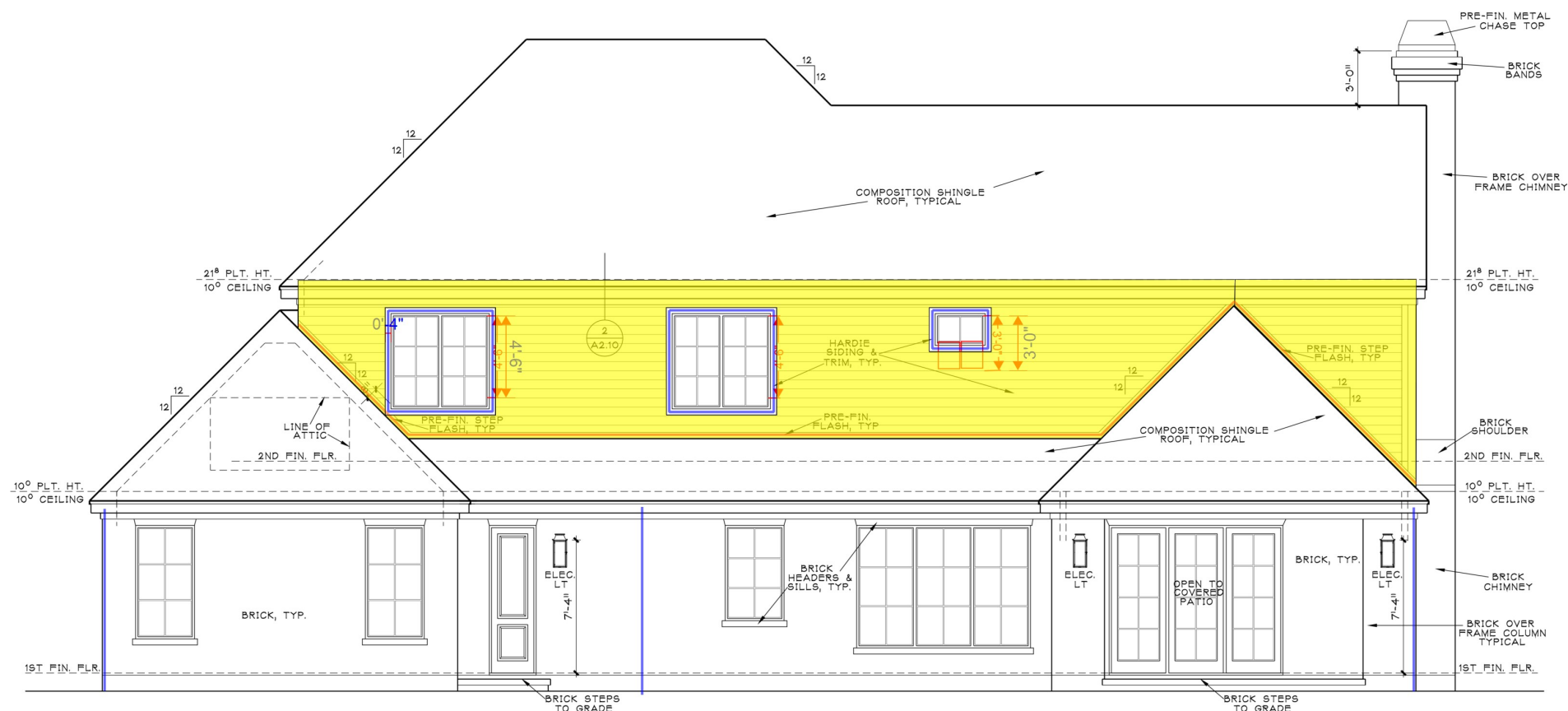
DRAWN BY C.B.D. **CHECKED BY** WTM

AREA TABULATION	
FIRST FLOOR	2,345 S.F.
SECOND FLOOR	2,183 S.F.
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TOTAL NON LIVING AREA	1,002 S.F.
TOTAL COVERED AREA	5,530 S.F.

SHEET TITLE
EXTERIOR ELEVATIONS

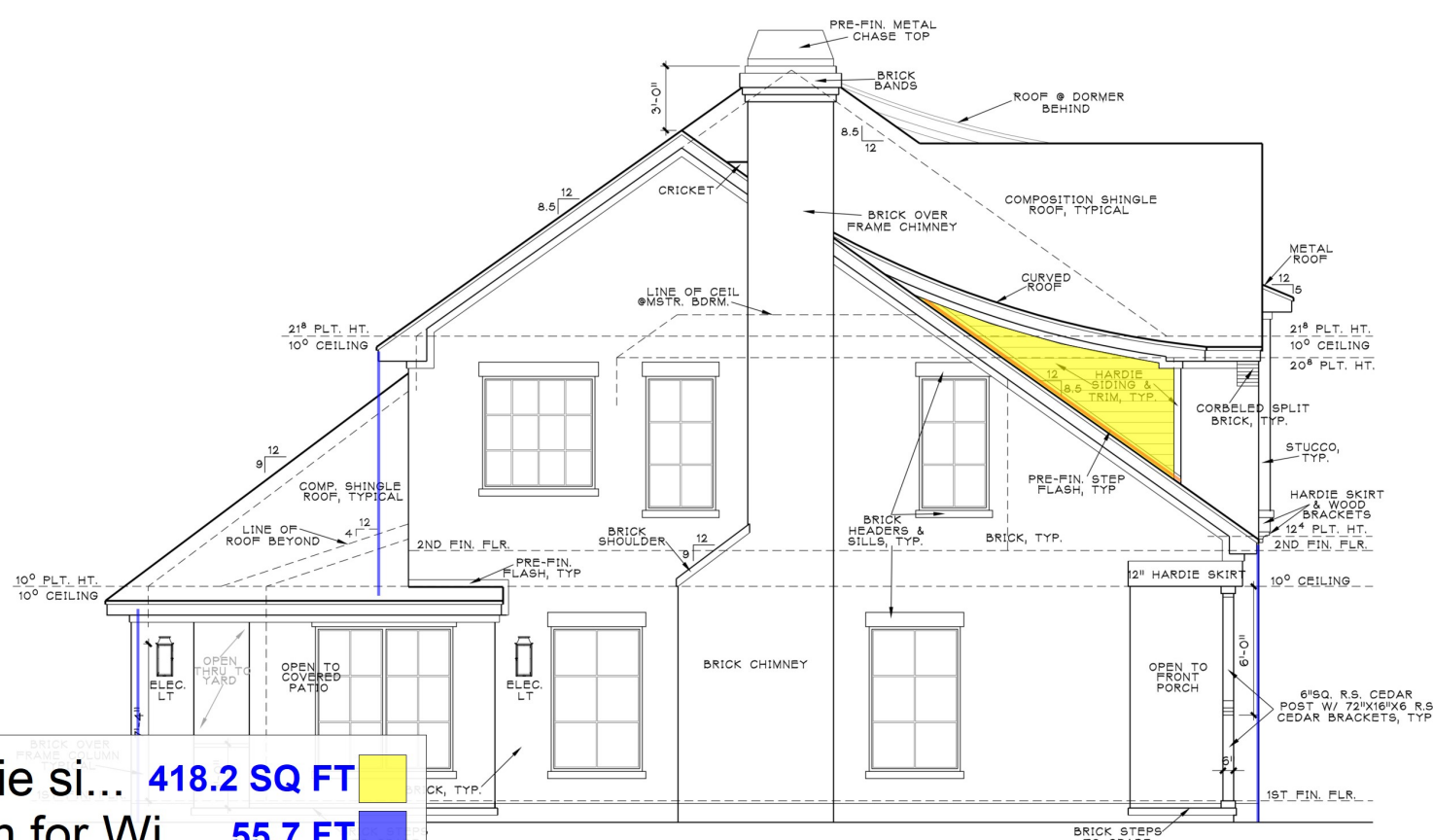
SCALE
1/4" = 1'-0"
DATE
JANUARY 25, 2025
SHEET NUMBER

A2.20



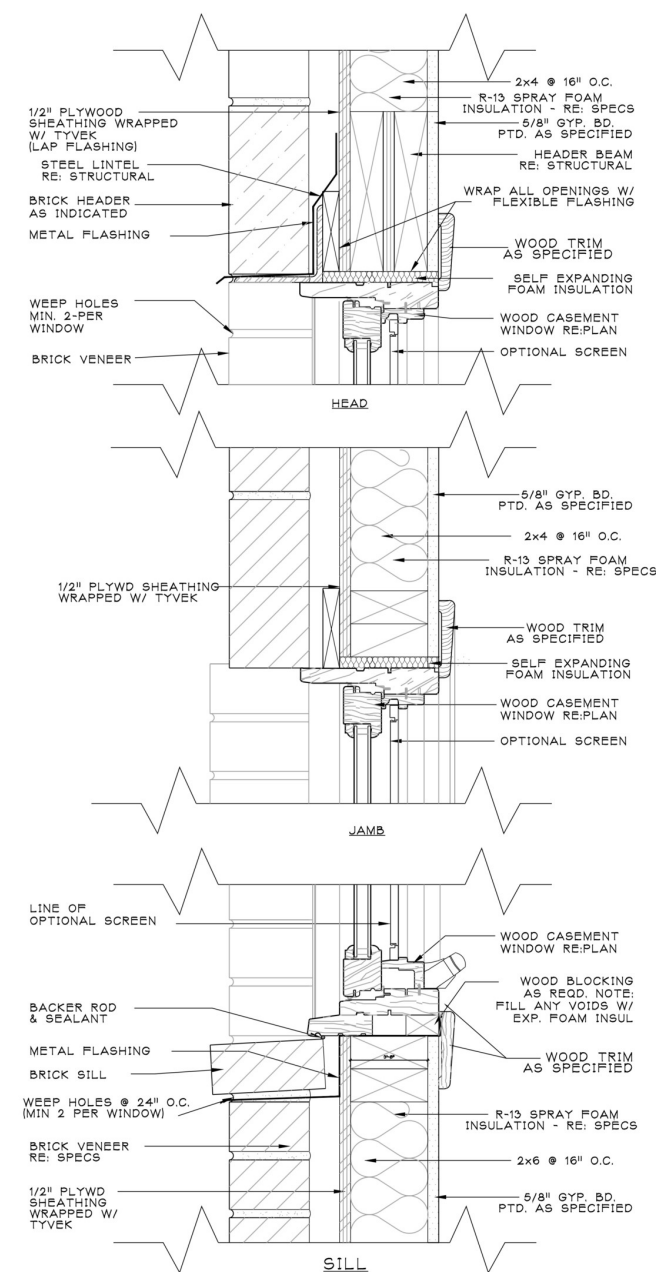
REAR ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"



CASEMENT WINDOW DETAIL 2X4 WALL

SCALE 3/8" = 1'-0"

Typical hardie si...	418.2 SQ FT
4" Wide Trim for Wi...	55.7 FT
Pre-Finished Roof to...	86.0 FT
Downspout	64.8 FT



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01-25-25

PROJECT TITLE
A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS
6 Gens Court
Houston, Texas 77055

PLAN NUMBER
4,528

DRAWN BY
C.B.D.

CHECKED BY
WIM

AREA TABULATION
FIRST FLOOR 2,345 S.F.
SECOND FLOOR 2,183 S.F.
TOTAL LIVING AREA 4,528 S.F.

2 CAR GARAGE & APRON & STO. 558 S.F.
FRONT PORCH 136 S.F.
COVERED PATIO 308 S.F.

TOTAL NON LIVING AREA 1,002 S.F.

TOTAL COVERED AREA 5,530 S.F.

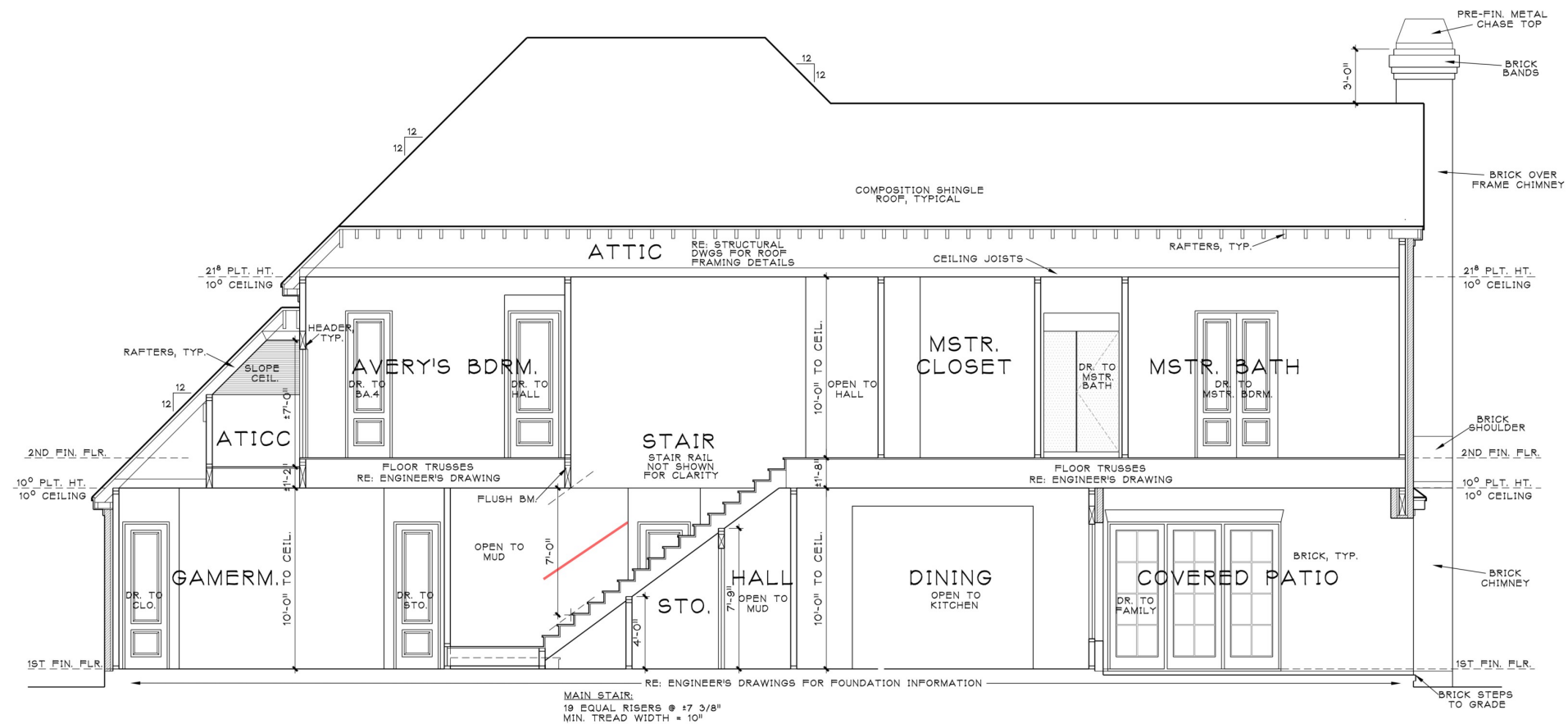
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BUILDING SECTIONS

SCALE
1/4" = 1'-0"

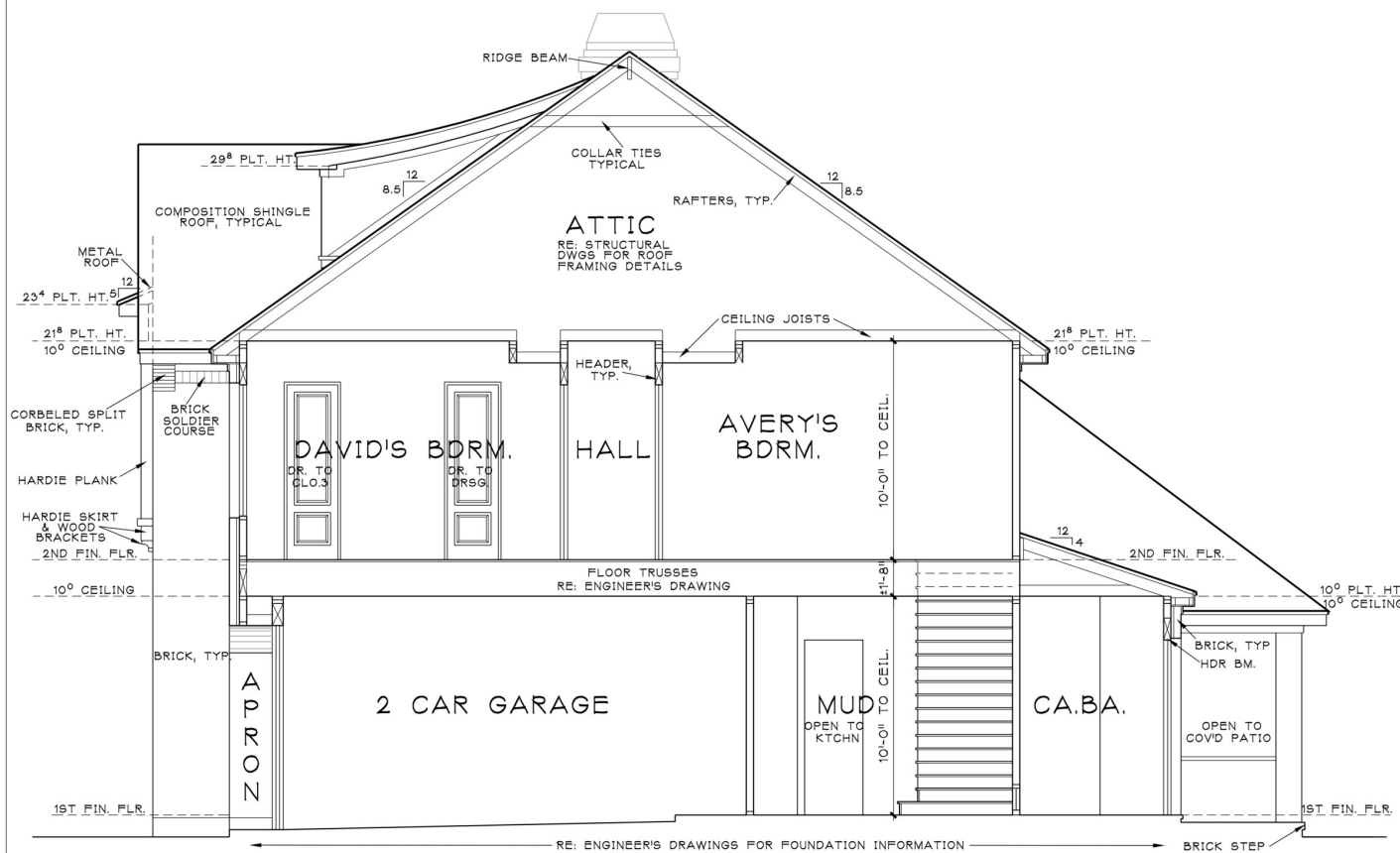
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JANUARY 25, 2025

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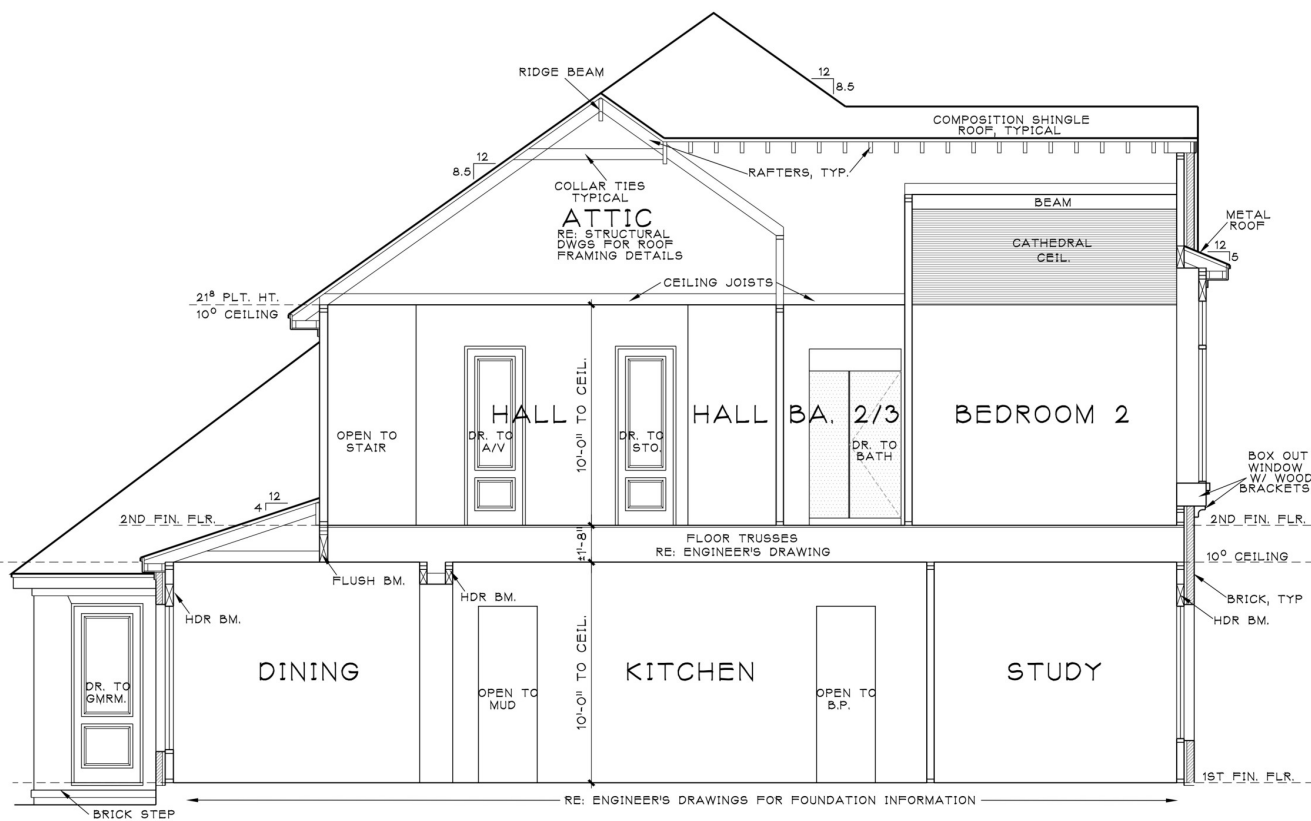
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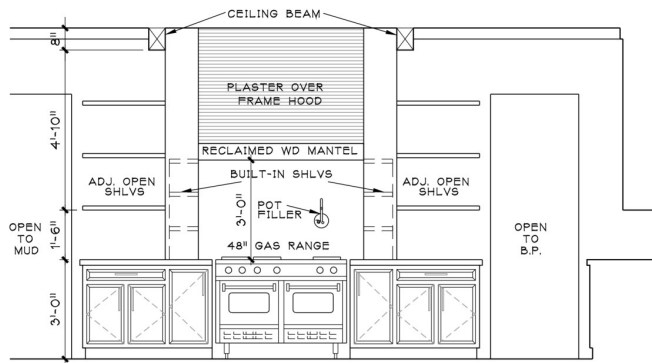
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SCALE 1/4" = 1'-0"



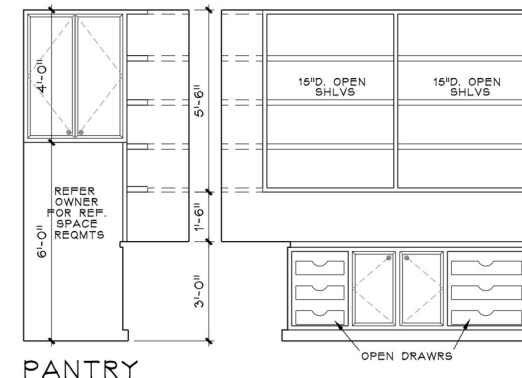
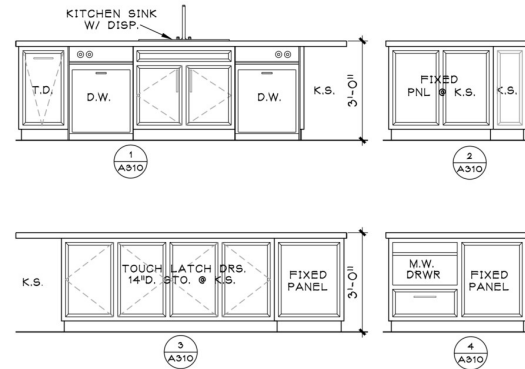
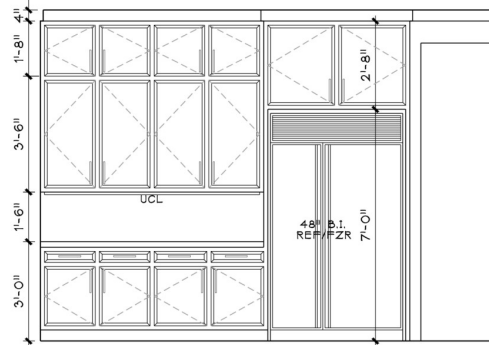
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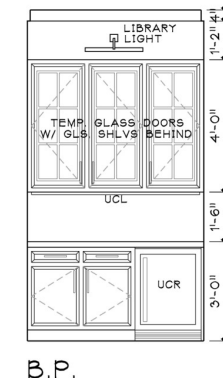
BUILDING SECTION
SCALE 1/4" = 1'-0"



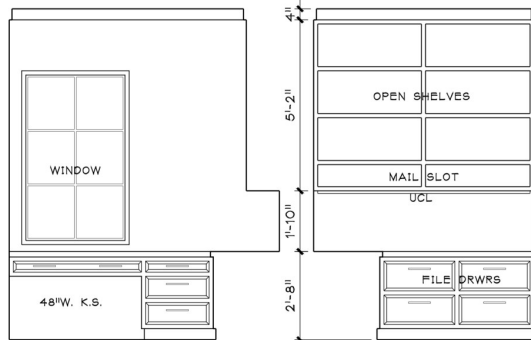
KITCHEN / ISLAND



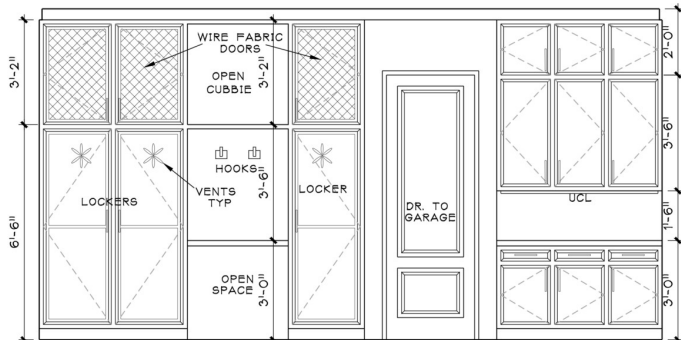
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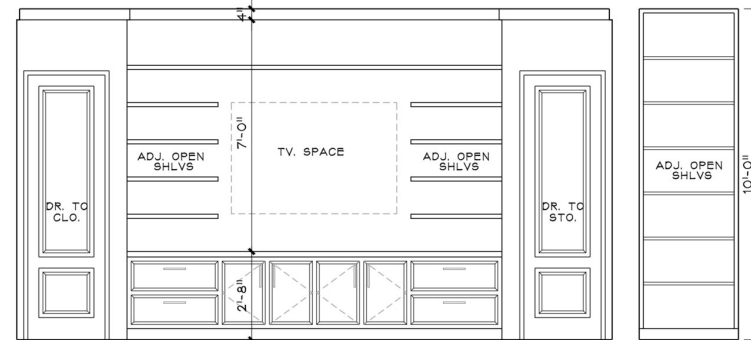
B.P.



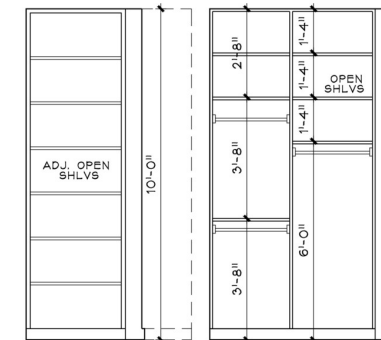
MOM'S OFFICE



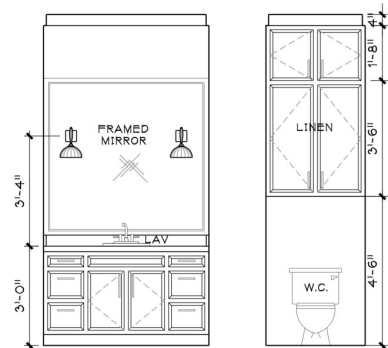
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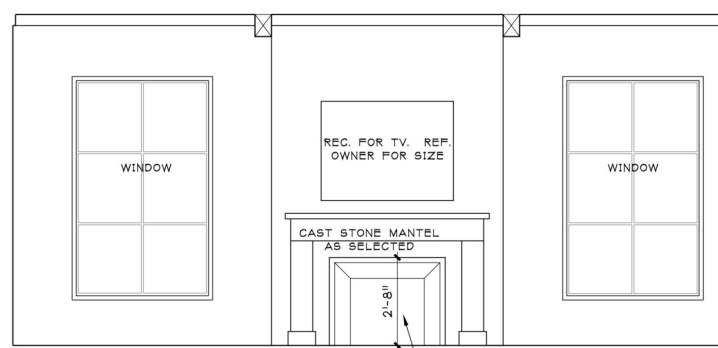
GAMEROOM



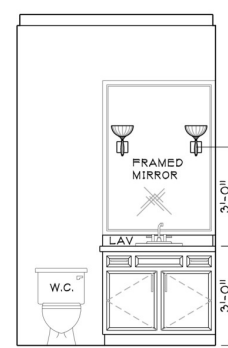
GME RM. CLOSET



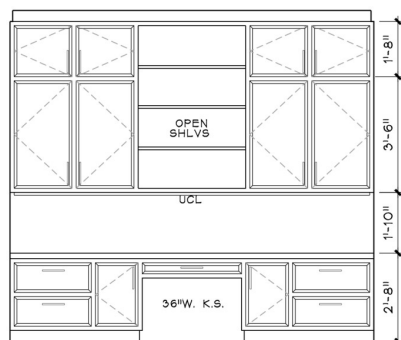
CABANA BATH



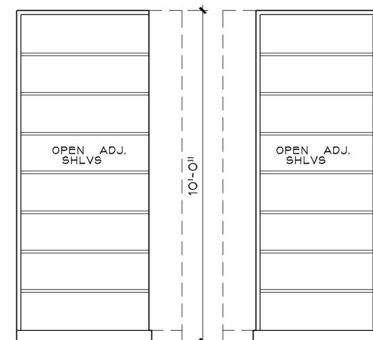
FAMILY ROOM



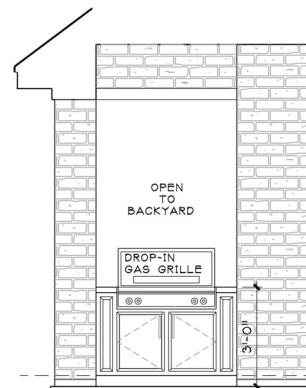
PWD.



STUDY



STORAGE



COVERED PATIO

GENERAL NOTES:

ALL SHELVES WITHIN CABINETS AND CASEWORK TO BE ADJUSTABLE. PROVIDE GLASS SHELVES (MIN. 1/2" TEMP. GL.) BEHIND ALL GLASS DOORS. REFER TO ELECTRICAL DRAWINGS FOR ALL LIGHTING ETC. INVOLVING CABINETRY.

UNLESS OTHERWISE NOTED, ALL CABINETS TO BE PAINT GRADE W/ STONE SLAB COUNTERTOPS AND BACKSPLASHES. RE: SPECIFICATIONS FOR ADD'L INFORMATION.

ARCHITECTURAL
SOLUTIONS, INC.



1415 S. Voss, Ste. 110-96
Houston, Texas 77057
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01-25-25

PROJECT TITLE

A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS

6 Gens Court
Houston, Texas 77055

PLAN NUMBER

4,528

DRAWN BY

C.B.D.

CHECKED BY

W.T.M.

AREA TABULATION

FIRST FLOOR 2,345 S.F.

SECOND FLOOR 2,183 S.F.

TOTAL LIVING AREA 4,528 S.F.

2 CAR GARAGE & APRON & STO. 558 S.F.

FRONT PORCH 136 S.F.

COVERED PATIO 308 S.F.

TOTAL NON LIVING AREA 1,002 S.F.

TOTAL COVERED AREA 5,530 S.F.

SHEET TITLE

**INTERIOR
ELEVATIONS**

SCALE

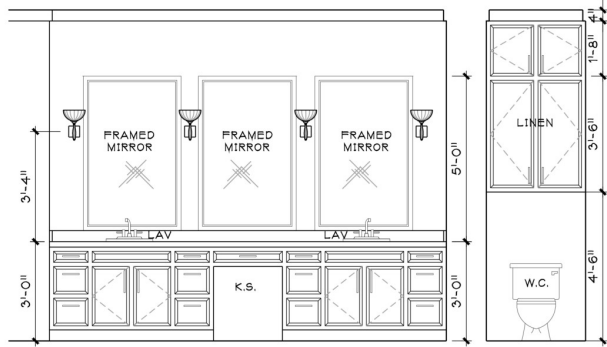
3/8" = 1'-0"

DATE

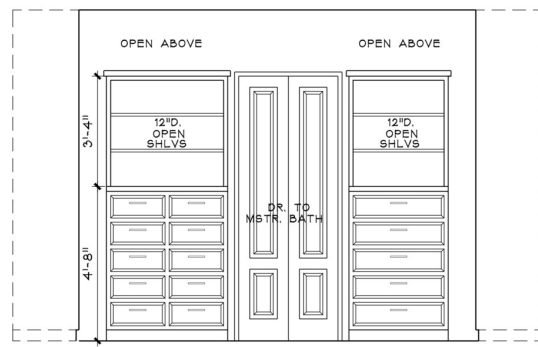
JANUARY 25, 2025

SHEET NUMBER

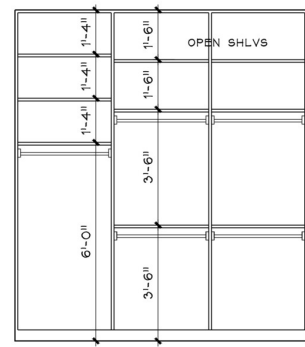
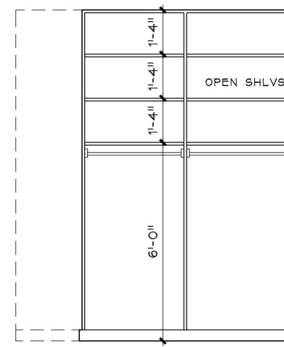
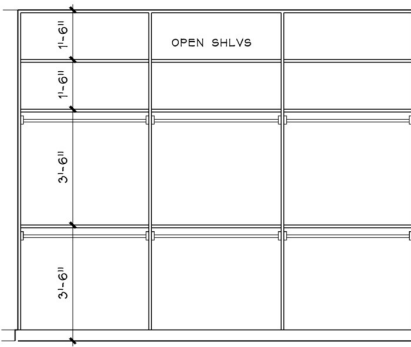
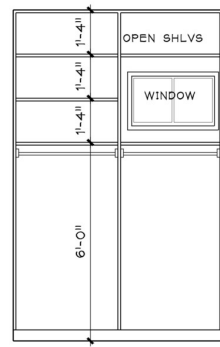
A3.10



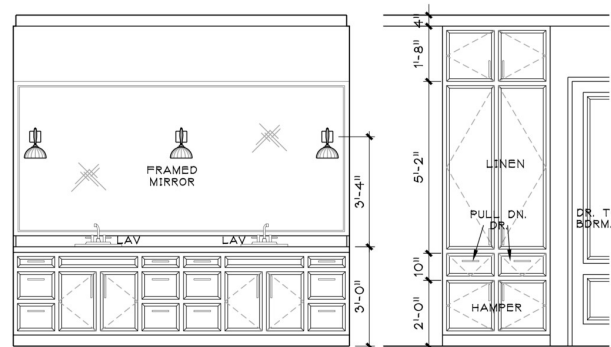
MASTER BATH



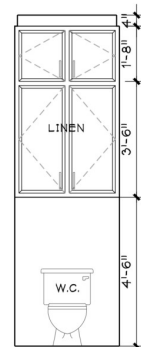
MASTER CLOSET



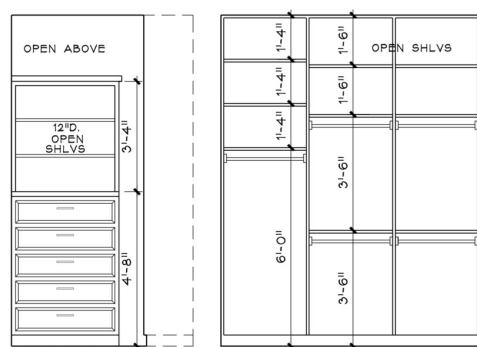
CLO. @ SITTING



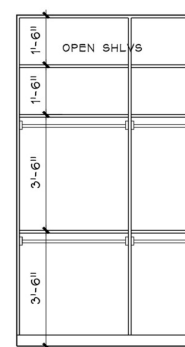
DRSG. 2 - 3



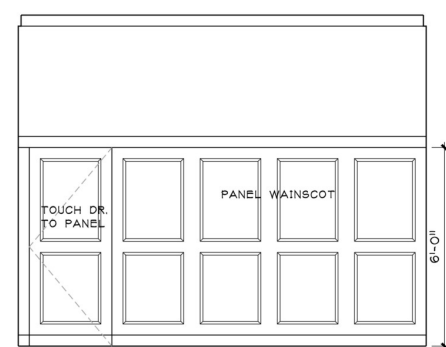
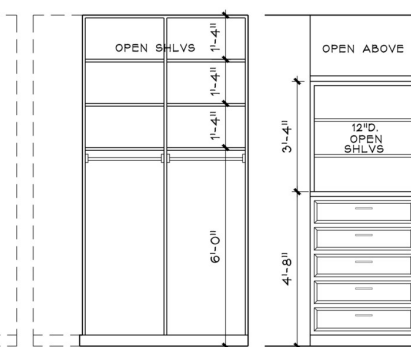
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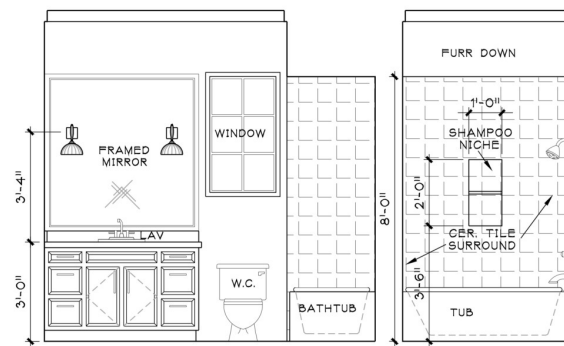
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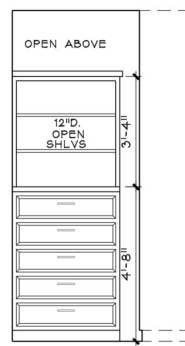
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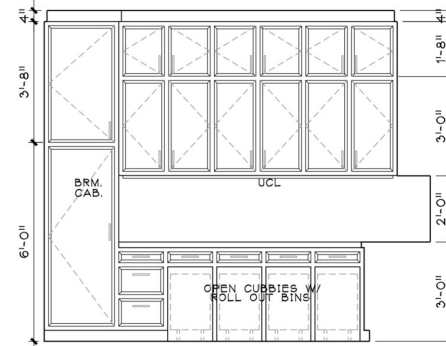
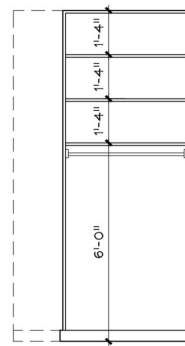
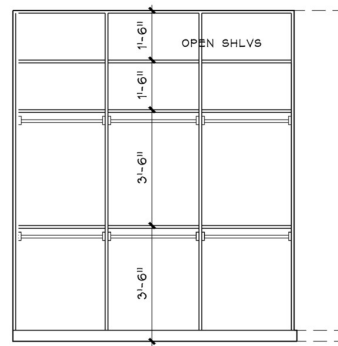
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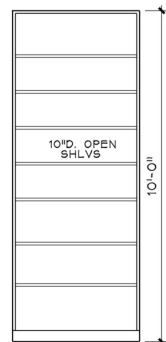
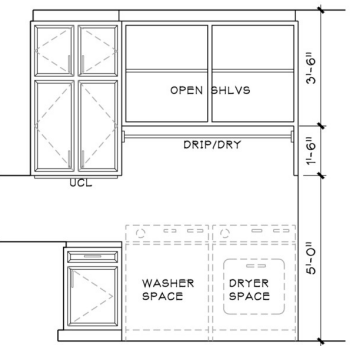
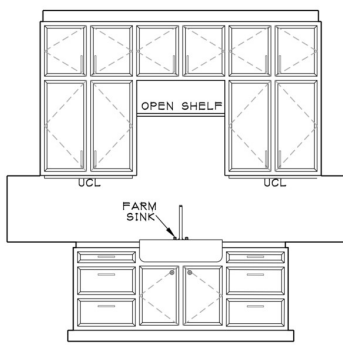
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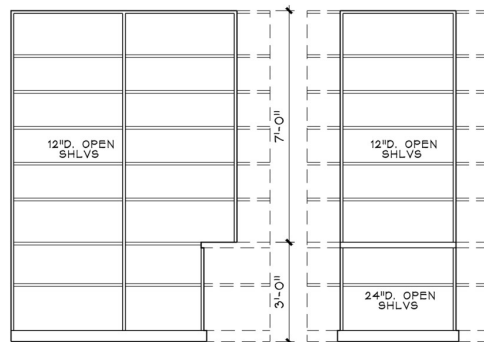
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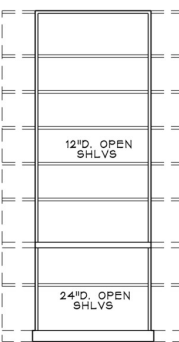
UTILITY



STO.



STORAGE



STO.

ARCHITECTURAL
SOLUTIONS, INC.



1415 S. Voss, Ste. 110-96
Houston, Texas 77057
Phone: (713)978-6989
Fax: (713)978-7085

ARCHITECT



01-25-25

PROJECT TITLE

A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS

6 Gens Court
Houston, Texas 77055

PLAN NUMBER

4,528

DRAWN BY

C.B.D.

CHECKED BY

WTM

AREA TABULATION

FIRST FLOOR	2,345 S.F.
SECOND FLOOR	2,183 S.F.
TOTAL LIVING AREA	4,528 S.F.
2 CAR GARAGE & APRON & STO.	558 S.F.
FRONT PORCH	136 S.F.
COVERED PATIO	308 S.F.
TOTAL NON LIVING AREA	1,002 S.F.
TOTAL COVERED AREA	5,530 S.F.

SHEET TITLE

**INTERIOR
ELEVATIONS**

SCALE:
3/8" = 1'-0"

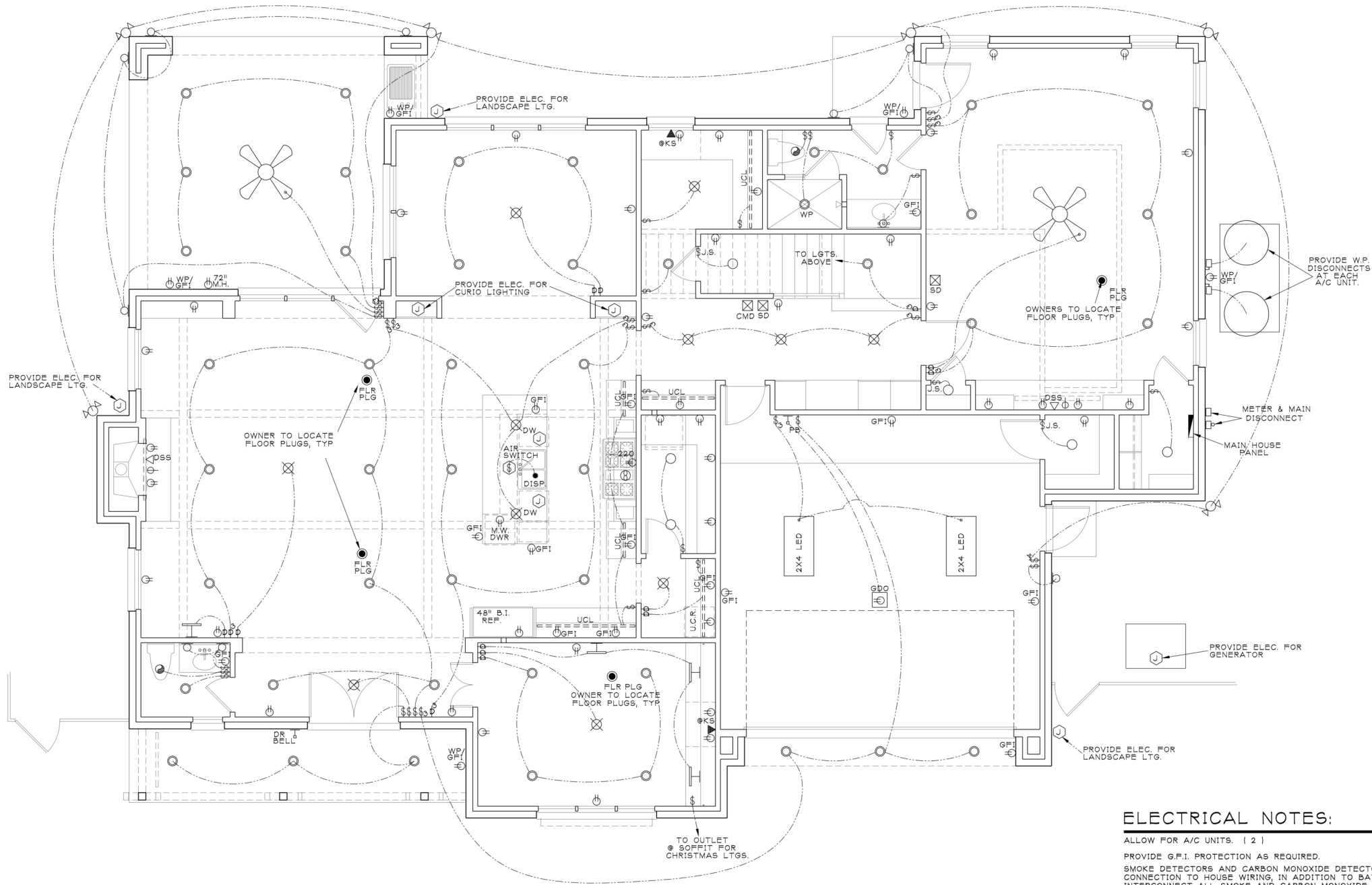
DATE
JANUARY 25, 2025

SHEET NUMBER

A3.20

ELECTRICAL LEGEND

	110 VOLT DUPLEX RECEPTACLE		TELEVISION ANTENNA		CARBON MONOXIDE DETECTOR		THERMOSTAT		1X4 SURFACE MOUNTED LED LIGHT
	WP 110 VOLT DUPLEX RECEPTACLE		JUNCTION BOX		CHIMES		FLOOD LIGHTS (ON PHOTOCELLS)		2X4 SURFACE MOUNTED LED LIGHT
	110 VOLT IN CLG.		TELEPHONE OUTLET		CEILING MOUNTED LIGHT FIXTURE		EXHAUST FAN		UNDER CABINET LIGHT
	110 VOLT W/ GROUND FAULT INTERRUPTER		SINGLE POLE SWITCH		RECESSED CAN LIGHT		EXHAUST FAN W/LIGHT		CEILING FAN
	110 VOLT 1/2 HOT		THREE WAY SWITCH		WP RECESSED CAN LIGHT		EXHAUST FAN W/HEAT LAMP & LT.		CEILING FAN W/ LIGHT KIT
	110 VOLT QUAD RECEPTACLE		FOUR WAY SWITCH		HANGING FIXTURE		COOKTOP EXHAUST HOOD		
	110 VOLT DUPLEX IN FLOOR		DIMMER SWITCH		LIBRARY LIGHT		GARBAGE DISPOSAL		
	220 VOLT RECEPTACLE		PUSH BUTTON		RECESSED EYEBALL SPOT LIGHT		SPEAKER		
	DIGITAL SATELLITE SYSTEM		SMOKE DETECTOR		WALL MOUNTED LIGHT FIXTURE		GARAGE DOOR OPENER		



ELECTRICAL NOTES:

- ALLOW FOR A/C UNITS. (2)
- PROVIDE G.F.I. PROTECTION AS REQUIRED.
- SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING, IN ADDITION TO BATTERY BACK-UP. INTERCONNECT ALL SMOKE AND CARBON MONOXIDE DETECTORS.
- VENT EXHAUST FANS TO OUTSIDE.
- PROVIDE P.C. LIGHT FIXTURE AND SMOKE DETECTOR AT EACH WATER HEATER AND A/C UNIT IN ATTIC.
- PROVIDE W.P. DISCONNECT AT EACH A/C UNIT COMP. LOCATION.
- OWNERS TO LOCATE ALL PHONE JACKS, T.V. JACKS AND FLOOR PLUGS.
- ALLOW FOR FUTURE POOL AND REAR YARD LIGHTING.
- ALL OUTLETS IN BEDROOMS TO BE ARC FAULT PROTECTED AND BE ON SEPARATE CIRCUIT FROM CEILING FANS / OVERHEAD LIGHTING CIRCUIT.
- MOUNT ALL DUPLEX RECEPTACLES THROUGHOUT HOUSE HORIZONTALLY IN BASEBOARD.
- ALL EXTERIOR LIGHTING TO COMPLY WITH CITY ORDINANCES
- ALL ELECTRICAL OUTLETS AT KITCHEN TO COMPLY WITH NEC 2014.

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01-25-25

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PROJECT ADDRESS
6 Gens Court
Houston, Texas 77055

PLAN NUMBER

4,528

DRAWN BY

C.B.D.

AREA TABULATION

FIRST FLOOR

SECOND FLOOR

TOTAL LIVING AREA

2 CAR GARAGE & APRON & STO.

FRONT PORCH

COVERED PATIO

TOTAL NON LIVING AREA

TOTAL COVERED AREA

5,530 S.F.

5,530 S.F.

5,530 S.F.

5,530 S.F.

5,530 S.F.

5,530 S.F.

5,530 S.F.

5,530 S.F.

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SHEET TITLE

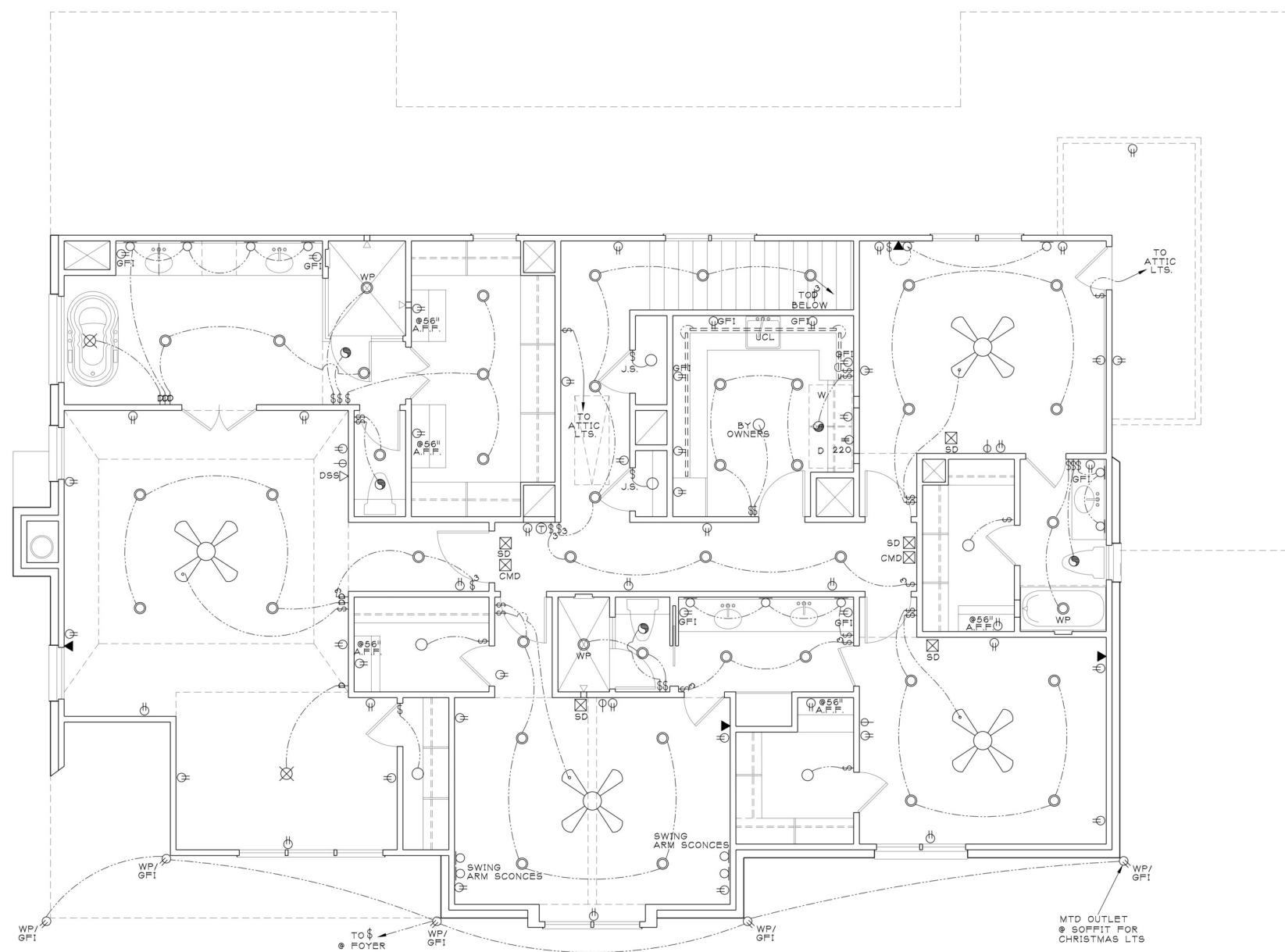
SECOND FLOOR ELECTRICAL PLAN

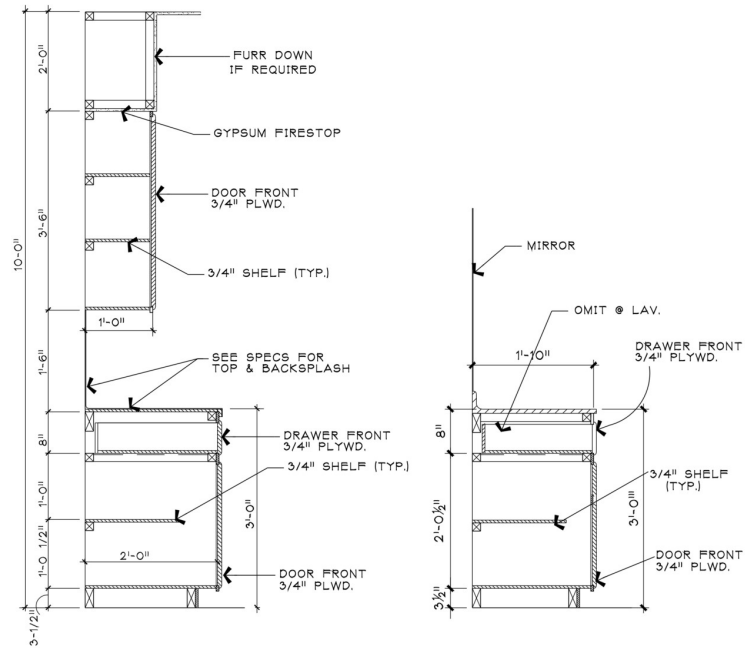
SCALE
1/4" = 1'-0"

DATE
JANUARY 25, 2025

SHEET NUMBER

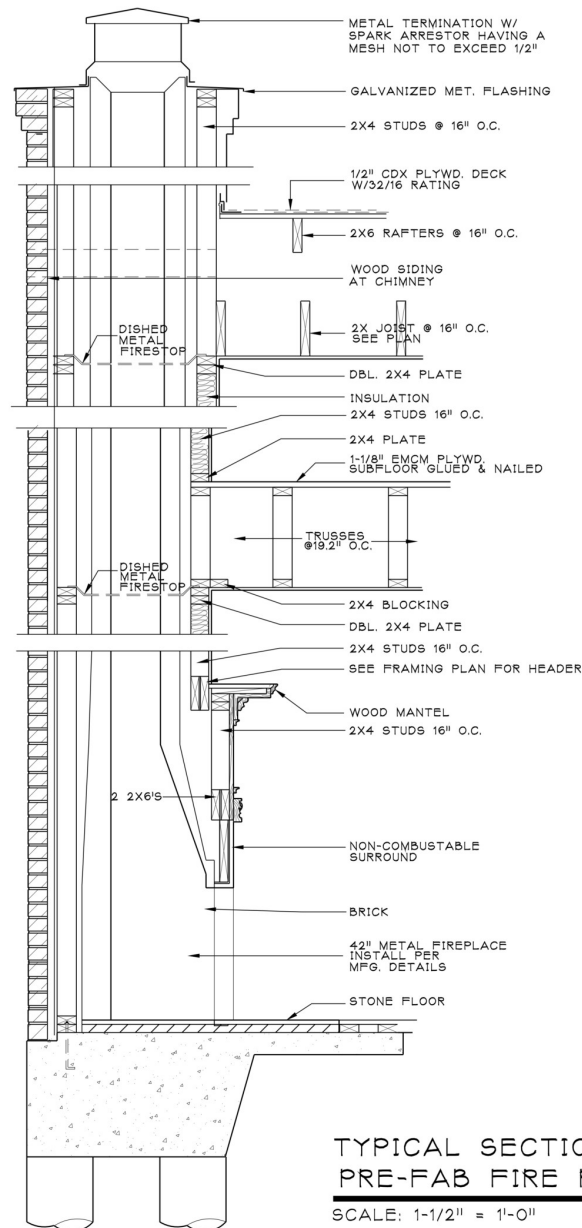
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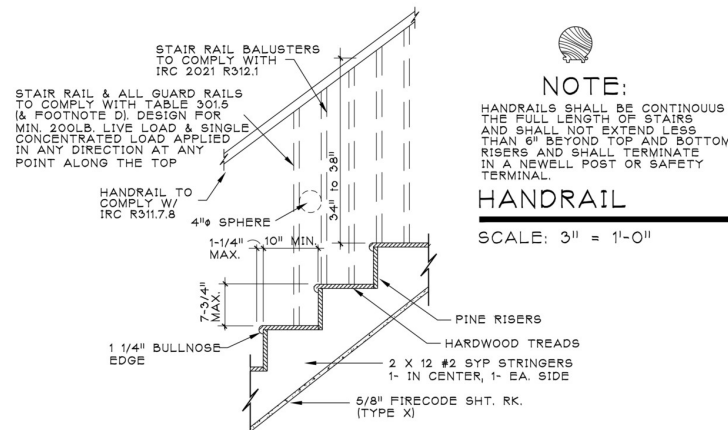
SECTION THRU TYPICAL KITCHEN
@ BATH CABINET

SCALE: 3/4" = 1'-0"



TYPICAL SECTION-
PRE-FAB FIRE PLACE

SCALE: 1-1/2" = 1'-0"



TREAD AND RISER DETAIL

SCALE: 3/4" = 1'-0"

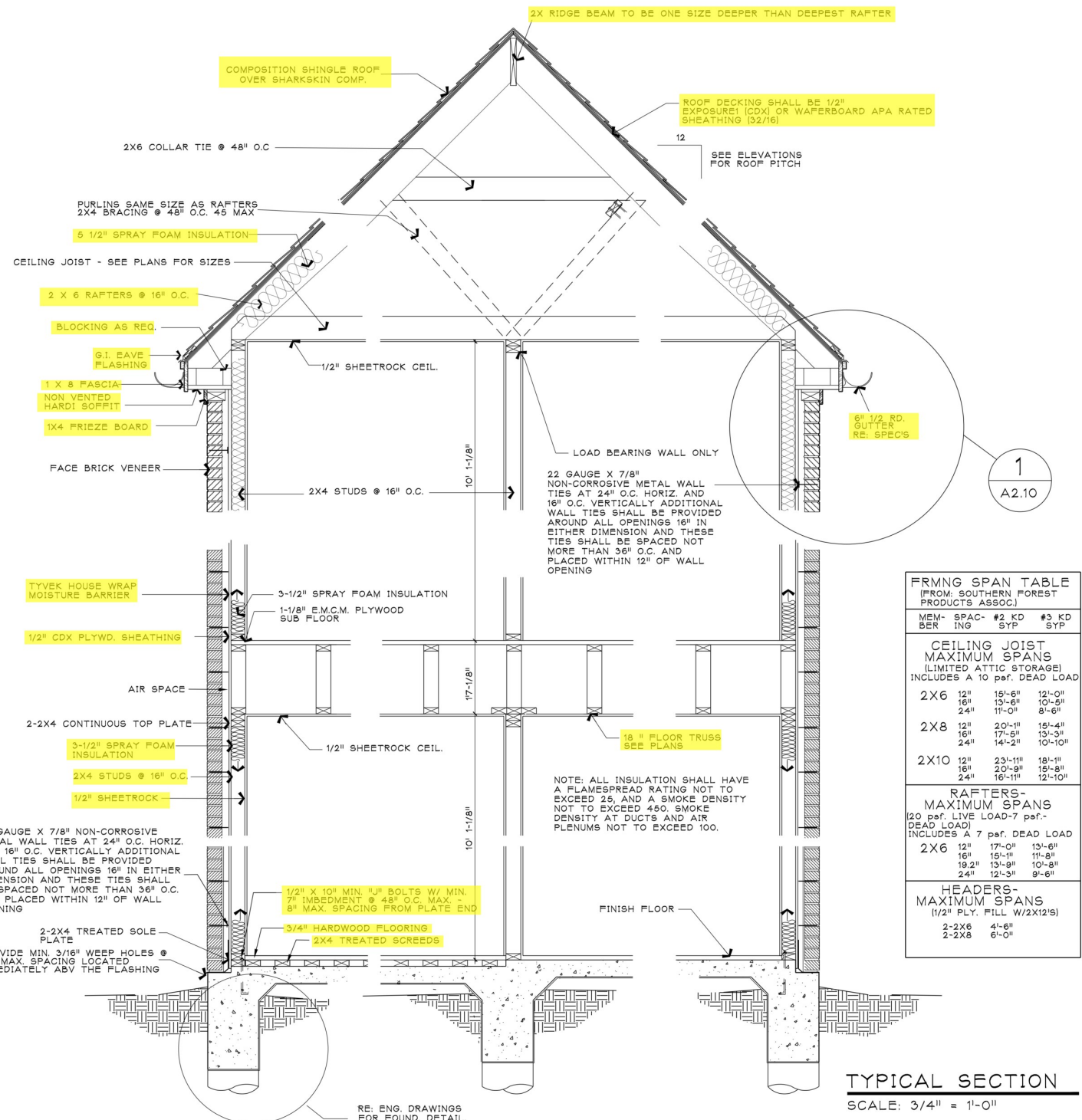
NOTE:
HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF STAIRS AND SHALL NOT EXTEND LESS THAN 6" BEYOND TOP AND BOTTOM RISERS AND SHALL TERMINATE IN A NEWELL POST OR SAFETY TERMINAL.

HANDRAIL

SCALE: 3" = 1'-0"

GENERAL FRAMING NOTES

- HIP, VALLEY, AND RIDGE SHALL ALWAYS BE #2" DEEPER THAN RAFTERS.
- PROVIDE COLLAR TIES AT UPPER 1/3 DISTANCE BETWEEN RIDGE BOARD AND JOISTS AT 48" O.C.
- ALL RAFTERS 2X6 AT 16" O.C. UNLESS OTHERWISE NOTED.
- DOUBLE FLOOR JOISTS UNDER ALL PARTITIONS PARALLEL TO JOISTS BELOW.
- PROVIDE CROSSBRIDGING AT 8'-0" O.C. ON ALL 2X12 JOISTS.
- PROVIDE RAFTER TIES AT ALL PLATES WHERE JOISTS ARE PERPENDICULAR TO RAFTERS.
- PROVIDE 2-2X6 STRONGBACK ON ALL CEILING JOIST SPANS OVER 10'-0".
- ALL STRUCTURAL FRAMING SHALL HAVE A 18% MAXIMUM MOISTURE CONTENT AT TIME OF INSTALLATION.
- STUD WALLS EXCEEDING 10'-0" SHALL HAVE FIRESTOPS @ MID-HEIGHT ROOF FRAMING: MAXIMUM UNSUPPORTED SPAN FOR RAFTERS SHALL BE 11'-0". ALL ROOF BRACING SHALL BE SUPPORTED BY A WALL, 2-2X6 STRONGBACK, OR 2-2X12 DEPENDING ON CEILING JOIST DIRECTION (PROVIDE BLOCKING AT BRACE LOCATIONS), UNLESS OTHERWISE NOTED. MAXIMUM ANGLE FOR 2X4 BRACES IN ATTIC SHALL BE 45° FROM VERTICAL.
- WHERE LENGTH OF BRACING EXCEEDS 8'-0" PROVIDE ALTERNATE BRACING METHODS AS DESCRIBED IN STRUCTURAL DRAWINGS.
- PROVIDE #6 GA. GALVANIZED IRON FLASHING AT ALL VALLEYS, HIPS, AND INTERSECTIONS WHERE APPLICABLE. PROVIDE LEAD FLASHING FOR PIPES PROJECTING THROUGH ROOF WITH FLANGE EXTENDED 8" BEYOND SLEEVE.
- ALL BEAM AND HEADER MATERIAL SHALL BE #2 KD19 SYP. ALL RAFTER AND JOIST MATERIAL SHALL BE #2 KD19 SYP.
- ALL WALL STUDS SHALL BE STUD GRADE KD19 FIR 16" O.C. OR #2 GRADE DOUGLAS FIR.
- ALL STEEL SHALL CONFORM TO ASTM A-36. STEEL ANGLE LINTEL SCHEDULE (TO SUPPORT BRICK) IS AS FOLLOWS:
MAX. SPAN MIN. SIZE MIN. BEARING
4'-0" L3 1/2 X 3 1/2 X 5/16 6"
5'-0" L4 X 3 1/2 X 5/16 8"
6'-0" L4 X 3 1/2 X 5/16 8"
7'-0" L4 X 3 1/2 X 5/16 8"
8'-0" L6 X 3 1/2 X 3/8 9"
9'-0" L6 X 3 1/2 X 3/8 9"
10'-0" L6 X 3 1/2 X 3/8 10"
- FORM SHAPE TO MATCH ARCHES WHERE NECESSARY.
- LIVE LOADS:
ROOF- 17 psf.
SECOND FLOOR- 40 psf.
ATTIC STORAGE- 30 psf.
- STEEL FLITCH BEAMS SHALL BE CONSTRUCTED WITH 2 ROWS OF 1/2" DIAMETER BOLTS SPACED AT 24" O.C. AND STAGGERED TOP AND BOTTOM. PROVIDE 2 BOLTS AT EACH END OF BEAM. HOLES SHALL BE 9/16" AND DRILLED, WHERE ONE BEAM IS ITTED INTO ANOTHER BEAM SHALL BE SUPPORTED BY A SIMPSON EGS HANGER. EDGE CLEARANCE SHALL BE 1-1/2" FOR ALL BOLTS. WOOD SHALL BE #2 KD 19 AND BOTH STEEL AND WOOD SHALL BE CONTINUOUS.
- SUPPORT ALL JOISTS ON BEAMS WITH SIMPSON U JOIST METAL HANGERS, UNLESS OTHERWISE NOTED. SUPPORT ALL BEAMS ON OTHER BEAMS WITH SIMPSON D/265 METAL HANGERS, UNLESS OTHERWISE NOTED.
- ALL BEAMS FRAMING TO WALLS ARE TO BE SUPPORTED BY A MINIMUM OF 2-2X4 OR 2-2X6 STUDS UNLESS OTHERWISE NOTED. THE NUMBER AND SIZE OF NAILS USED TO CONNECT WOOD MEMBERS SHALL BE ACCORDING TO TABLE R602.3(1) OF THE 2021 IRC BUILDING CODE.



FRMNG SPAN TABLE (FROM: SOUTHERN FOREST PRODUCTS ASSOC.)				
MEM- BER	SPAC- ING	#2 KD SYP	#3 KD SYP	
CEILING JOIST MAXIMUM SPANS (LIMITED ATTIC STORAGE) INCLUDES A 10 psf. DEAD LOAD				
2X6	12"	15'-6"	12'-0"	
	16"	13'-6"	10'-6"	
	24"	11'-0"	8'-6"	
2X8	12"	20'-11"	15'-4"	
	16"	17'-6"	13'-3"	
	24"	14'-2"	10'-10"	
2X10	12"	23'-11"	18'-11"	
	16"	20'-9"	15'-8"	
	24"	16'-1"	12'-10"	
RAFTERS- MAXIMUM SPANS (20 psf. LIVE LOAD-7 psf.- DEAD LOAD) INCLUDES A 7 psf. DEAD LOAD				
2X6	12"	17'-0"	13'-6"	
	16"	15'-11"	11'-8"	
	18.2"	13'-9"	10'-8"	
	24"	12'-3"	9'-6"	
HEADERS- MAXIMUM SPANS (1/2" PLY. FILL W/2X12'S)				
2-2X6		41'-6"		
2-2X8		6'-0"		

TYPICAL SECTION

SCALE: 3/4" = 1'-0"

ARCHITECTURAL
SOLUTIONS, INC.



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ARCHITECT



PROJECT TITLE

A Custom Residence for:
PARKER & EMILY DALTON

PROJECT ADDRESS

6 Gens Court
Houston, Texas 77055

PLAN NUMBER

4,528

DRAWN BY

CHECKED BY

C.B.D.

W.T.W.

AREA TABULATION

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SHEET TITLE

MISCELLANEOUS
DETAILS

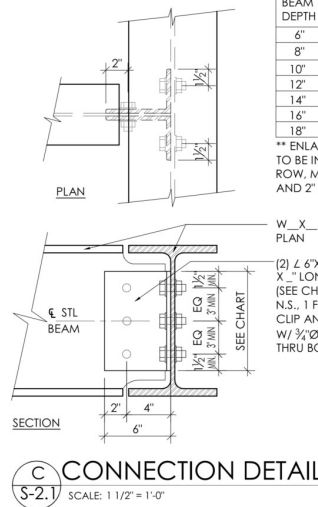
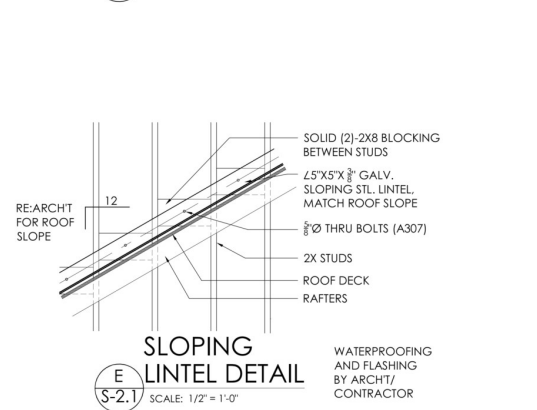
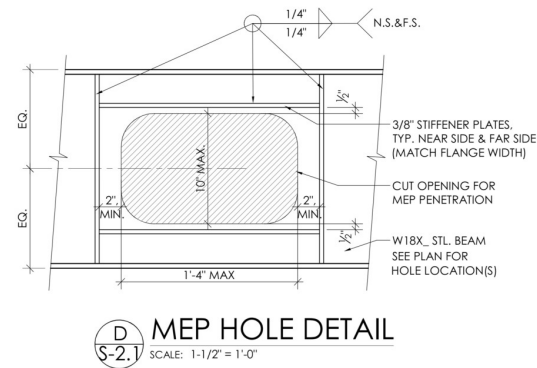
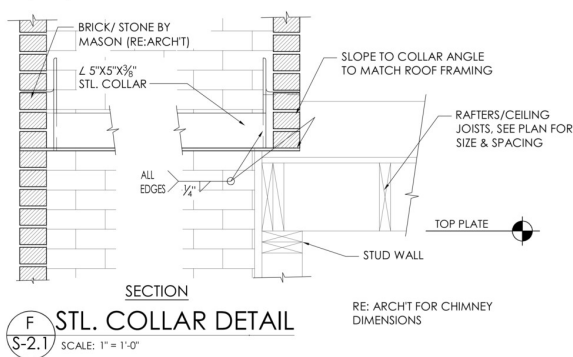
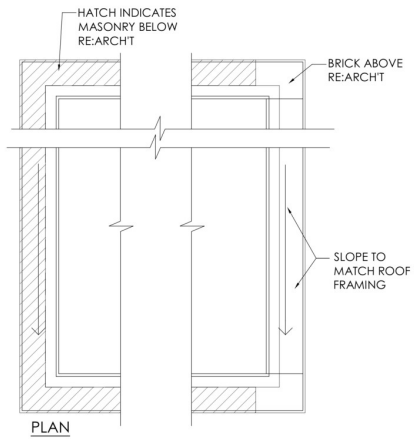
SCALE:
3/4" = 1'-0"

DATE
JANUARY 25, 2025

SHEET NUMBER

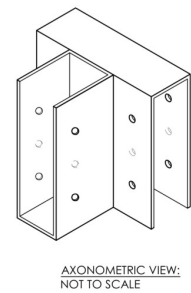
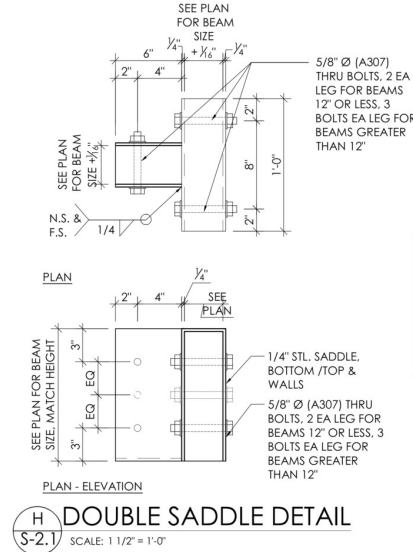
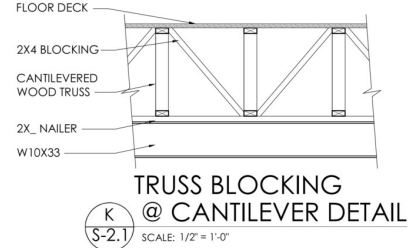
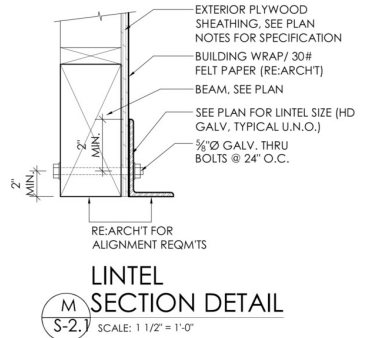
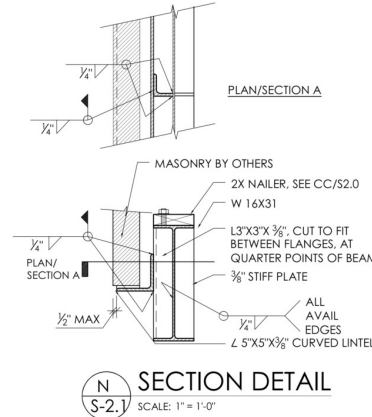
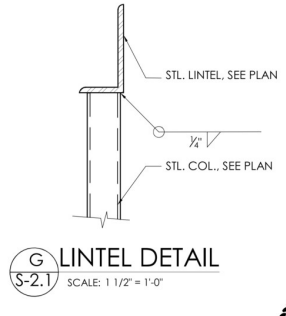
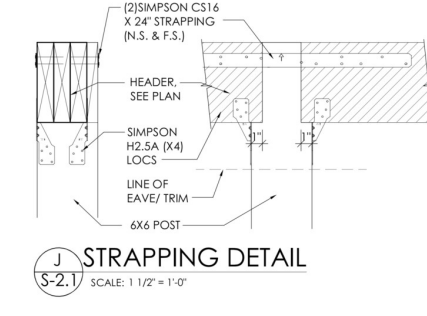
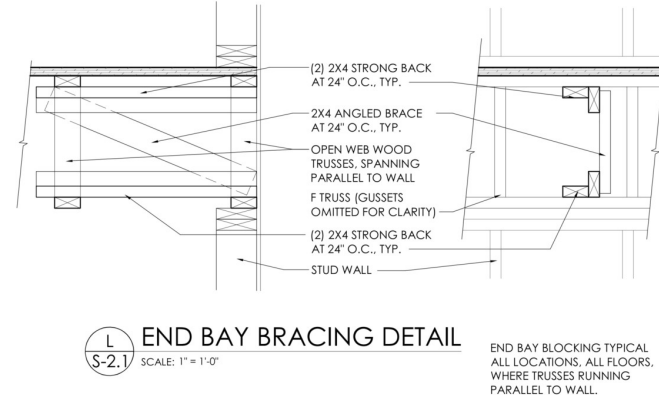
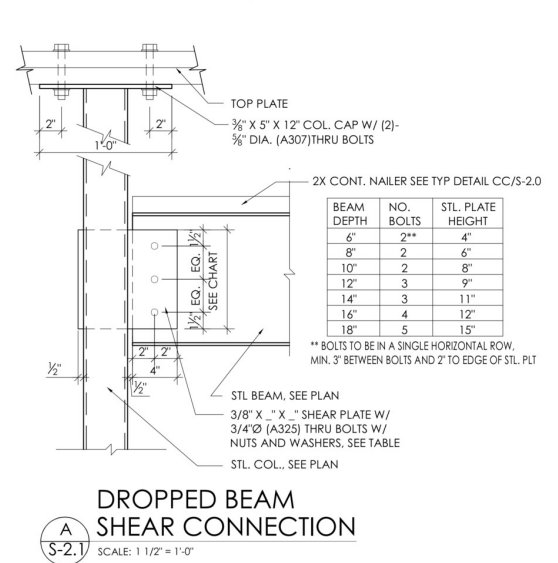
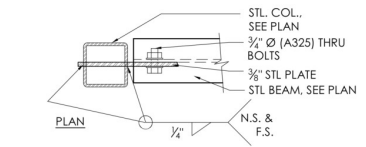
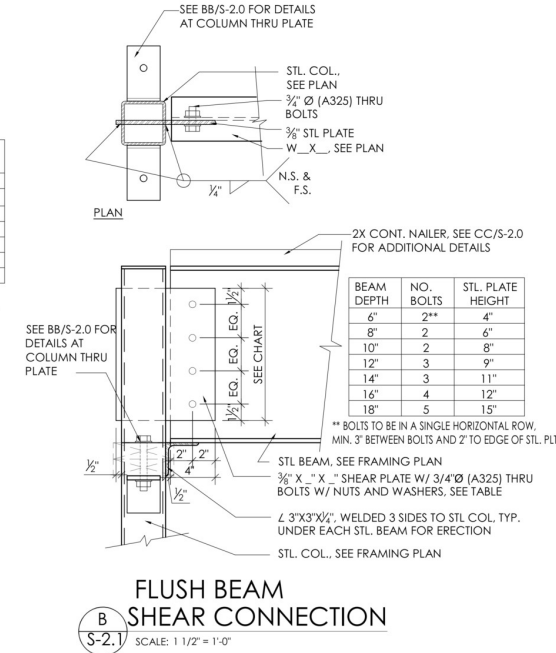
A5.10

Plotted on: Mar 07, 2025



BEAM DEPTH	NO. BOLTS /LEG	ANGLE LENGTH
6"	2**	4"
8"	2	6"
10"	2	8"
12"	3	9"
14"	3	11"
16"	4	12"
18"	5	15"

** ENLARGE STL. PLATE. BOLTS TO BE IN A SINGLE HORIZONTAL ROW, MIN. 3" BETWEEN BOLTS AND 2" TO EDGE OF STL. PLT

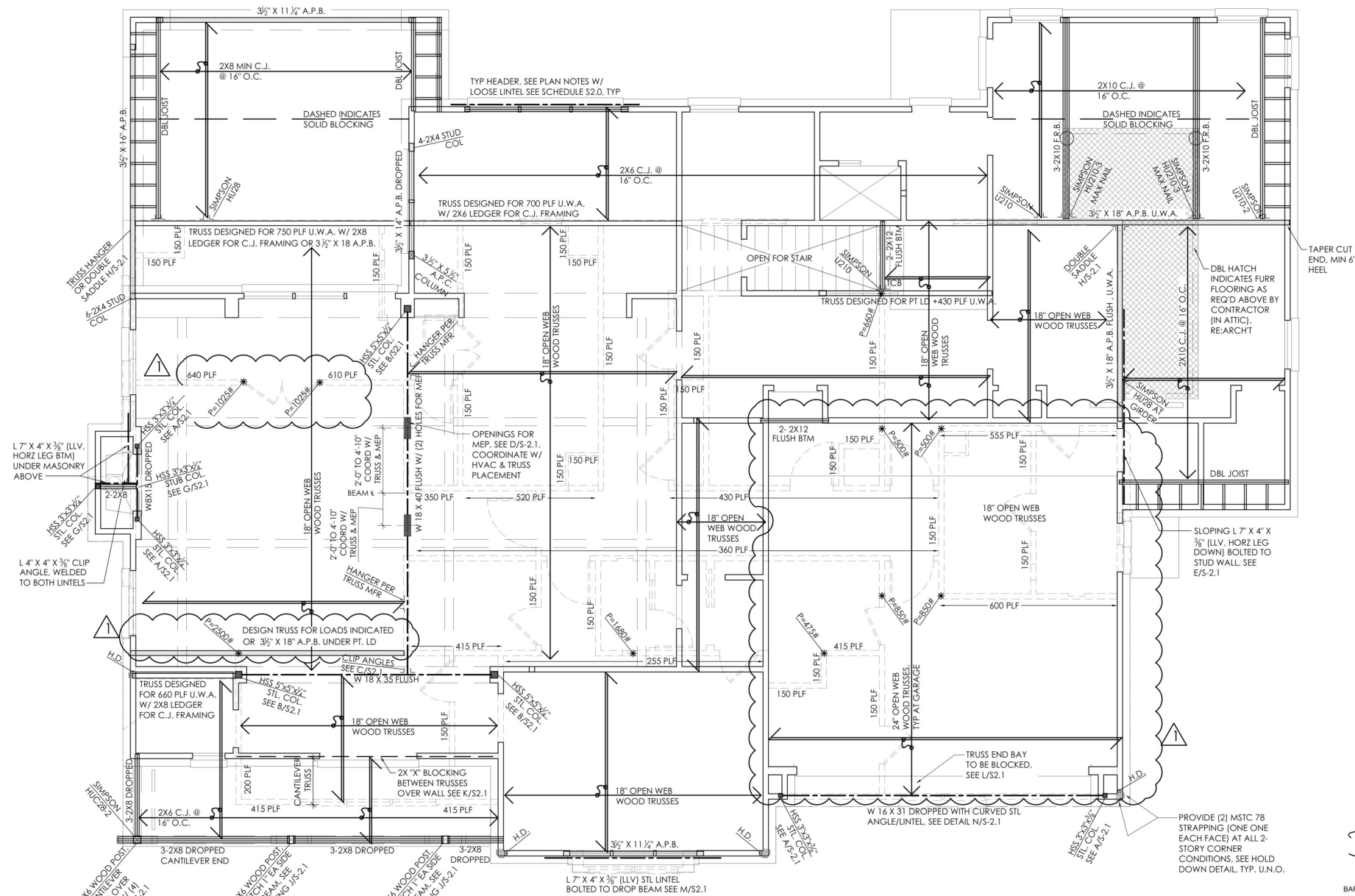


BARRY ADKINS FOR DARAM ENGINEERS
Daram Engineers, Inc.
 FIRM# F-9503
 3100 Richmond, Suite 407
 Houston, TX 77098
 713-524-3444

RESIDENCE
 6 GENS COURT
 HOUSTON, TX 77055
 job no: 241219
 date: 01/30/2025
 ISSUED FOR : CONSTRUCTION
 drawn by: LDB
 checked by: CMH & BA
 sheet:

S-2.1

ORIGINAL ISSUE: 01/30/2025
 REV. 03/07/2025
 NO CHANGE THIS SHEET



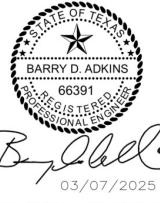
TRUSS NOTES:

- DESIGN TRUSS(ES) FOR SPECIFIED ADDITIONAL TRUSS LOAD, FROM WALL ABOVE, FOR ENTIRE LENGTH OF WALL, UNLESS NOTED OTHERWISE
- $P=1000\#$ DESIGN TRUSS(ES) FOR SPECIFIED ADDITIONAL POINT LOAD
- TRUSSES UNDER NON-LOAD BEARING WALLS ABOVE TO BE DESIGNED FOR 150PLF ADDITIONAL LOAD, TYPICAL U.N.O.
- TRUSSES UNDER LOAD BEARING WALLS ABOVE TO BE DESIGNED FOR ADDITIONAL LOADS AS NOTED ON PLAN, CONTACT ENGINEER FOR LOAD BEARING WALLS WITHOUT NOTED LOADS.
- BLOCKING:**
FOR WALL LOADS PARALLEL WITH TRUSSES:
 *MAX 700 PLF LOAD: 2X6 BLOCKING @ 19.2" O.C. BETWEEN TRUSSES UNDER WALL LOAD ABOVE.
 *MAX 1200 PLF LOAD: 2X8 BLOCKING @ 19.2" O.C. BETWEEN TRUSSES UNDER WALL LOAD ABOVE.
- FOR PT. LOADS AND WALL LOADS PERPENDICULAR TO TRUSSES:**
 *MAX 2000# FT LOAD/1450 PLF: 2-2X6 UNDER LOAD ABOVE
 *MAX 3500# FT LOAD/ 1950 PLF : 2-2X8 UNDER LOAD ABOVE
- SEE ALSO DD/S-2 FOR BLOCKING DETAILS. NOTIFY ENGINEER FOR ANY LOAD GREATER THAN SPECIFIED ABOVE FOR DETAILING.

FIRST FLOOR CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"

- FIRST FLOOR CEILING FRAMING PLAN--GENERAL NOTES**
- ALL FIRST FLOOR CEILING JOISTS ARE 18" OPEN WEB WOOD TRUSSES AT MFR.'S SPECIFICATIONS AND RECOMMENDATIONS TYP. U.N.O.
 - ALL FIRST FLOOR EXTERIOR HEADERS ARE TO BE 2-2X12 W/ 1 PC. 1/2" PLYWOOD GLUED AND NAILED. ALL INTERIOR WALL HEADERS ARE TO BE A MIN. OF 2-2X12 W/ 1/2" PLYWOOD GLUED AND NAILED. TYP. U.N.O.
 - ALL WALLS ARE 2X6 OR 2X4 @ 16" O.C. TYP. U.N.O.
 - PROVIDE SIMPSON HD.SA AT EACH STUD TO SILL PLATE. TYP. U.N.O.
 - PROVIDE THE APPROPRIATE SIMPSON "THA422" OR "U" SERIES JOIST HANGER AT ALL FLUSH CONNECTIONS. TYP. U.N.O.
 - SHEATH ALL EXTERIOR WALLS W/ 15/32" PLYWOOD, NAIL EDGES W/ 10d NAILS AT 4" O.C. AND 12" O.C. IN THE FIELD. BLOCK ALL EDGES. TYP. U.N.O.
 - SECURE ALL CANTILEVERED JOISTS TO WALL WITH SIMPSON H6. ATTACHED TO EXTERIOR FACE OF WALL. TYP. U.N.O.
 - A.P.B. = "ANTHONY POWER BEAM" (Fty=3000, E=2.1m)
 - A.P.C. = "ANTHONY POWER COLUMN" (Fty=2,300psi, Fbx=2,100psi, Fc= 2,300psi, E= 1.9m)
 - U.W.A. = "UNDER WALL ABOVE"
 - ALL STL. COLUMNS TO HAVE MIN 1/2" STL PLATE CAP. SEE DETAILS FOR ADDITIONAL/ ALTERNATE REQUIREMENTS (DETAIL TO GOVERN)
 - F.R.B. = FOR ROOF BRACING



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 FIRM# F-9503
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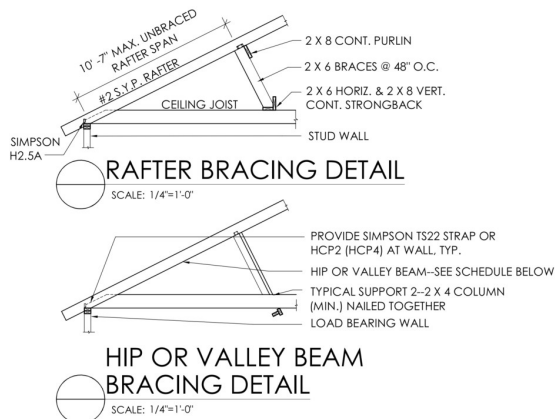
RESIDENCE
 6 GENS COURT
 HOUSTON, TX 77055

job no: 241219
 date: 03/07/2025
 ISSUED FOR : CONSTRUCTION
 drawn by: LDB
 checked by: CMH & BA

sheet:

S-3

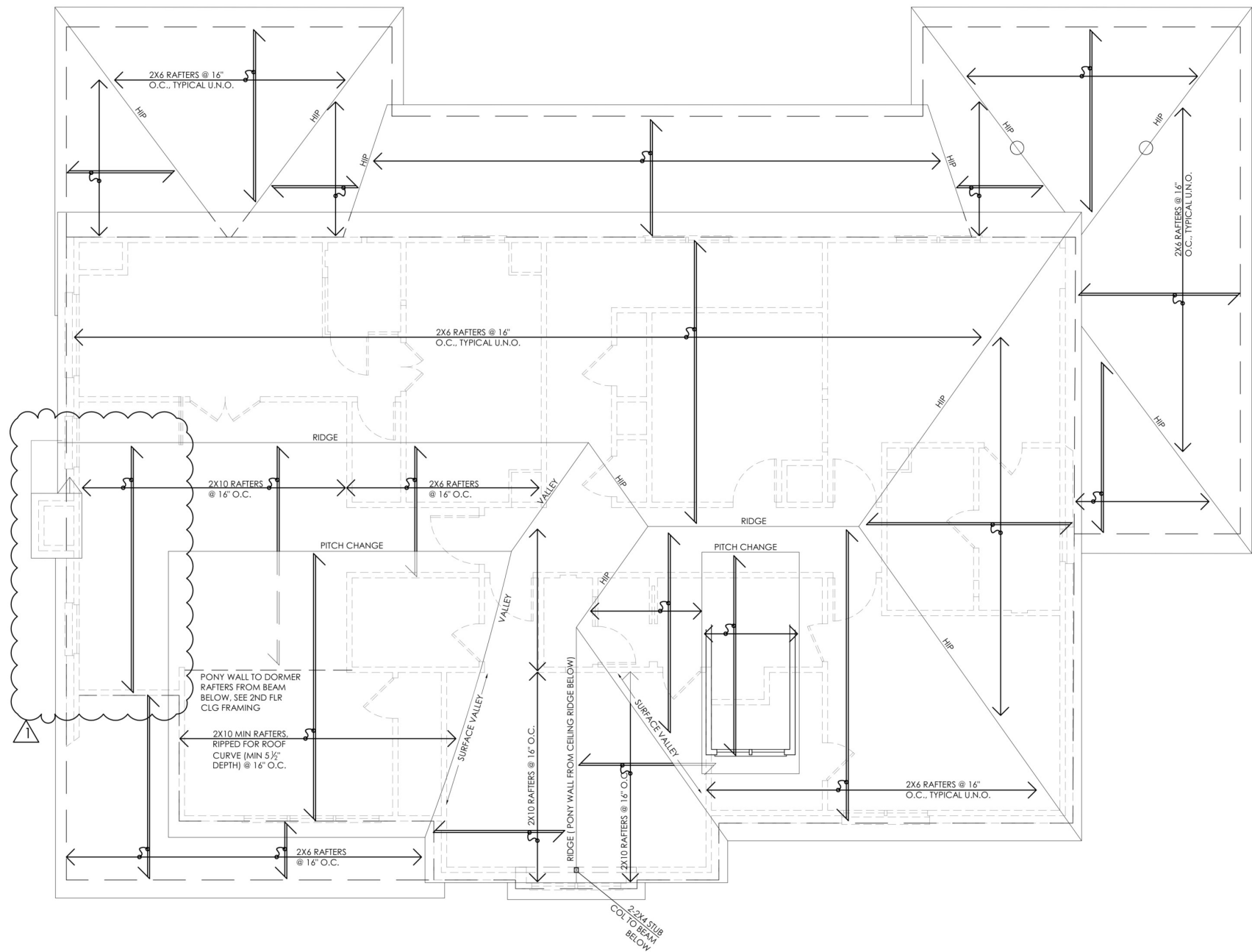
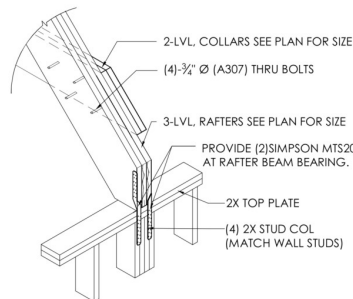
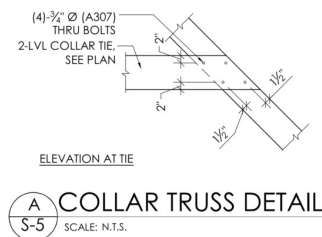
ORIGINAL ISSUE:
 01/30/2025
 REV. 03/07/2025
 REVISED FRAMING
 AT GARAGE



HIP, VALLEY, & RIDGE BEAM SCHEDULE
[TYPICAL, WITH BRACED RAFTERS, U.N.O., SEE PLAN]:

UNBRACED SPAN (ft.)	*MIN BEAM SIZE (#2 SYP)
0'-6"	2 X 6
6'-7"	2 X 8
7'-8"	2 X 10
8'-9"	2 X 12 or 2-2 X 8
9'-10"	2-2 X 10
10'-11"	2-2 X 12
OVER 11'	SEE PLAN FOR SIZE OR CONTACT STRUCTURAL ENGINEER FOR DESIGN

*BEAMS TO BE NO SHALLOWER THAN RAFTER SIZE



1 **S-5** **ROOF FRAMING PLAN** SCALE: 1/4" = 1'-0" N

- INDICATES LIMITS OF MEMBERS CALLED OUT
- INDICATES SPAN DIRECTION OF MEMBERS CALLED OUT
- INTERIOR SHEAR WALL - DETAIL SHEET S2, NAIL 4" O.C. EDGES & 12" O.C. FELD, BLOCK ALL EDGES
- INDICATES HIP/VALLEY BRACE/SUPPORT POINT ONTO PROVIDED BEAM, TYP.
- INDICATES HIP/VALLEY BRACE/SUPPORT POINT ONTO PROVIDED 2-2 X 4 (MIN.) COLUMN WITHIN STUD WALL, TYP.

- ROOF FRAMING—GENERAL NOTES**
- ALL ROOF RAFTERS ARE TO BE 2X6 #2 SYP. AT 16" O.C., TYP., U.N.O.
 - ALL RIDGES, HIPs AND VALLEYS ARE TO BE PER SCHEDULE ON HIP OR VALLEY BRACING DETAIL S-4. MIN (1) 2X, ONE SIZE LARGER THAN THE RAFTER, TYP., U.N.O.
 - ALL ROOF RAFTERS ARE BRACED TO LOAD BEARING WALLS AND PROVIDED MEMBERS SUCH THAT THE MAXIMUM UNBRACED LENGTH IS 10'-7" OR LESS, TYP., U.N.O.; SEE RAFTER AND HIP, VALLEY AND RIDGE BRACE DETAILS.
 - PROVIDE SIMPSON H2.5A HURRICANE CLIP AT EVERY RAFTER TO STUD WALL CONNECTION. INSTALL CLIP TO THE OUTSIDE FACE OF WALL BEFORE SHEATHING IS APPLIED, TYP., U.N.O.
 - PROVIDE SIMPSON CS16 X 24" LONG STRAP OVER RIDGE TO RAFTERS AT EVERY RAFTER, HANG RAFTERS FROM RIDGE WITH SIMPSON U-SERIES HANGERS.

THIS PROJECT HAS BEEN DESIGNED TO MEET OR EXCEED THE 110 MPH (3 SECOND GUSTS) WINDLOAD CODE REQUIREMENTS

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REV. FRAMING PER REV. ARCH

STATE OF TEXAS
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